



**MEETING AGENDA  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT  
HYBRID MEETING in person at**

**Board Room  
2661 Beach Rd.  
Watsonville, CA 95076**

**Saturday, June 1<sup>st</sup>, 2024 9:00 a.m.**

**And via ZOOM**

**Join Zoom Meeting**

**<https://us02web.zoom.us/j/82232811149?pwd=WWlvcUkwQlBpb1hULzIEUEV4UXV5UT09>**

**Meeting ID: 822 3281 1149  
Passcode: 608360  
Phone in: +1 669 900 9128 US**

**If you have any questions, please contact the District Clerk at [pdghad@gmail.com](mailto:pdghad@gmail.com)**

**A. OPEN SESSION CALL TO ORDER – PLEDGE OF ALLEGIANCE**

---

**Roll Call**

**John Cullen, President  
David Ferrari, Vice-President  
Raphael Kraw, Treasurer**

**Michael Butner, Director  
Patrick Dobbins, Director  
Sarah Mansergh, Clerk**

**B. MEMBER COMMENTS**

---

Matters under the jurisdiction of the Board and not on the posted agenda, may be addressed by members of the public before the Board for consideration. However, California law prohibits the Board from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Board of PDGHAD. Any person wishing to address the Board during the Member Comment period shall be permitted to be heard for up to 3 minutes, A) individuals may speak only once and B) the Board is unable to address any owner comments in depth but may choose to direct the Clerk to follow-up on the matter for a future meeting.

### **C. PRESIDENT’S REMARKS**

---

The President will use this opportunity to inform the public of issues affecting the District and other items of a general nature not otherwise provided for on this agenda.

#### **2024 Proposed Dates**

July 27<sup>th</sup>, 2024-Ballot Count and Hearing

August 3<sup>rd</sup>, 2024

October 5<sup>th</sup>, 2024

December 14<sup>th</sup>, 2024

### **D. CONSENT CALENDAR**

---

All matters listed on the Consent Calendar are considered to be routine by the Board of Directors and will be enacted by one motion at the appropriate time. There will be no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Calendar and will be considered separately.

1. Approval of meeting minutes from March 9<sup>th</sup>, 2024, April 6<sup>th</sup>, 2024 and May 18<sup>th</sup>, 2024

### **E. MEETING reports**

---

2. Meetings attended by Directors at District expense since the last meeting of the Board (per AB1234 requirements). Such reports may be made orally or in writing.
- 

### **F. NEW BUSINESS**

---

3. ITEM- Presentation-Pajaro Dunes Rock Revetment Project and 2024 218 election

- a. Board and Staff Report
- b. Public comment
- c. Board discussion
- d. Board action /direction

4. ITEM –Staff Report and assessment timeline for consideration of a 218 assessment election to cover the projected costs for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project. pg. 14

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

5. ITEM – Consider a resolution appointing Engineer of Record, accepting the Engineer’s Report and declaring intention to authorize and levy an assessment in Zone 1 for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project starting in the Fiscal Year 2024-2025. pg. 16

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

6. ITEM – Consider a resolution to accept the President’s Report for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project 218 assessment election. pg 60

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

7. ITEM- Consider a resolution approving the Notice of Assessment for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project 218 assessment election. pg 64

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

8. ITEM – Consider a resolution approving the balloting procedures for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project 218 assessment election. pg. 70

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

9. ITEM – Consider a resolution approving the ballots for the Pajaro Dunes Seawall Maintenance and Repair (Revetment) Project 218 assessment election. pg. 75

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

10. ITEM – Provide direction for any additional preparation of materials and approval of final mailing packet.

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

11. ITEM – Consider FY 2024/2025 Operating Budget for Zones 1 and 2. pg 78

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

## **G. DIRECTORS COMMENTS AND CONCERNS**

---

Members of the Board of Directors may address items of concern at this time and may request that items be placed on future agendas in accordance with the By-laws of the Board.

## **H. ADJOURNMENT**

---

The next Meeting of the Board of Directors is scheduled for July 27<sup>th</sup>, 2024, at 9:00 a.m. online via Zoom and at the offices of the Pajaro Dunes Geologic Hazard Abatement District, Meadow Room, Pajaro Dunes, 2661 Beach Road, Watsonville, CA 95076. Individuals who require special accommodations are requested to contact the District Clerk by calling (831) 818-9253, no less than 72 hours prior to the meeting or in the case of a Special Meeting, as soon as possible after the Agenda is posted. Copies of the agenda will be available 72 hours prior to the meeting and may be obtained by contacting the District at (831) 761-7744. All meetings are noticed and conducted in accordance with the Ralph M. Brown Act.

# PDGHAD

**REGULAR MEETING MIUNUTES  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT  
HYBRID MEETING in person at**

**Meadow Room  
2661 Beach Rd.  
Watsonville, CA 95076**

**Saturday, March 9<sup>th</sup>, 2024 9:00 a.m.**

**And via ZOOM**

**Join Zoom Meeting**

**<https://us02web.zoom.us/j/82232811149?pwd=WWlvcUkwOIBpb1hULzIEUEV4UXV5UT09>**

**Meeting ID: 822 3281 1149  
Passcode: 608360  
Phone in: +1 669 900 9128 US**

**If you have any questions please contact the District Clerk at [pdghad@gmail.com](mailto:pdghad@gmail.com)**

**A. OPEN SESSION CALL TO ORDER – PLEDGE OF ALLEGIANCE**

---

**Roll Call**

**John Cullen, President-present  
David Ferrari, Vice-President-present  
Raphael Kraw, Treasurer-present**

**Michael Butner, Director-present  
Patrick Dobbins, Director-present  
Sarah Mansergh, Clerk-present**

**Also present: Mike Rodriquez (counsel), Wendy Cumming (accountant), Stacey Stillman H84**  
**B. MEMBER COMMENTS**

---

Matters under the jurisdiction of the Board and not on the posted agenda, may be addressed by members of the public before the Board for consideration. However, California law prohibits the Board from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Board of PDGHAD. Any person wishing to address the Board during the Member Comment period shall be permitted to be heard for up to 3 minutes, A) individuals may speak only once and B) the Board is unable to address any owner comments in depth but may choose to direct the Clerk to follow-up on the matter for a future meeting.

## C. PRESIDENT'S REMARKS

---

The President will use this opportunity to inform the public of issues affecting the District and other items of a general nature not otherwise provided for on this agenda.

### **2024 Proposed Dates**

May 18<sup>th</sup>, 2024

June 1<sup>st</sup>, 2024

August 3<sup>rd</sup>, 2024

October 5<sup>th</sup>, 2024

December 14<sup>th</sup>, 2024

## D. CONSENT CALENDAR

---

All matters listed on the Consent Calendar are considered to be routine by the Board of Directors and will be enacted by one motion at the appropriate time. There will be no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Calendar and will be considered separately.

1. Approval of meeting minutes from December 9<sup>th</sup>, 2023

**David Ferrari moves to approve the minutes from December 9, 2023. Raphael Kraw seconds. All approve 5-0.**

## E. TREASURER'S REPORT

---

2. Financial Reports

- Financial Report through January 2024
- Warrant listing

**No major changes reported.**

## F. MEETING reports

---

3. Meetings attended by Directors at District expense since the last meeting of the Board (per AB1234 requirements). Such reports may be made orally or in writing.

## G. NEW BUSINESS

---

4. ITEM- Review proposed 218 assessment election and receive updates on permitting for the seawall maintenance. Discuss and consider communications (engineer's report, homeowners letter etc.), timelines, meetings and other homeowner outreach

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action /direction

**Reviewed the draft engineer's report and provided feedback to Engineering team. Direct Staff to update FAQs and create list of documents to be finalized for initiation of. A 218 election.**

5. ITEM-Review and consider insurance policy renewals
  - a. Board report
  - b. Public comment
  - c. Board discussion
  - d. Board action /direction

**Raphael Kraw moves to approve the insurance policies. David Ferrari seconds. All approve 5-0**

6. ITEM-Consider issuing an RFP for a new auditing firm
  - a. Board report
  - b. Public comment
  - c. Board discussion
  - d. Board action /direction

**Directed staff to put out an RFP, seek a new auditing firm.**

## **H. DIRECTORS COMMENTS AND CONCERNS**

---

Members of the Board of Directors may address items of concern at this time and may request that items be placed on future agendas in accordance with the By-laws of the Board.

## **I. ADJOURNMENT**

**The meeting was adjourned at 10:23am**

---

The next Meeting of the Board of Directors is scheduled for May 18<sup>th</sup>, 2024, at 9:00 a.m. online via Zoom and at the offices of the Pajaro Dunes Geologic Hazard Abatement District, Board Room, Pajaro Dunes, 2661 Beach Road, Watsonville, CA 95076. Individuals who require special accommodations are requested to contact the District Clerk by calling (831) 818-9253, no less than 72 hours prior to the meeting or in the case of a Special Meeting, as soon as possible after the Agenda is posted. Copies of the agenda will be available 72 hours prior to the meeting and may be obtained by contacting the District at (831) 761-7744. All meetings are noticed and conducted in accordance with the Ralph M. Brown Act.

# PDGHAD

**SPECIAL MEETING AGENDA  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT  
HYBRID MEETING in person at**

**Meadow Room (adjacent to Dunes Hall)  
150 Sandpiper Ln.  
Watsonville, CA 95076**

**Saturday, April 6<sup>th</sup>, 2024 10:00 a.m.**

**And via ZOOM**

**Join Zoom Meeting**

**<https://us02web.zoom.us/j/82232811149?pwd=WWlvcUkwQlBpb1hULzIEUEV4UXV5UT09>**

**Meeting ID: 822 3281 1149  
Passcode: 608360  
Phone in: +1 669 900 9128 US**

**If you have any questions, please contact the District Clerk at [pdghad@gmail.com](mailto:pdghad@gmail.com)**

## **A. OPEN SESSION CALL TO ORDER – PLEDGE OF ALLEGIANCE**

---

### **Roll Call**

**John Cullen, President-present  
David Ferrari, Vice-President-present  
Raphael Kraw, Treasurer-present**

**Michael Butner, Director-present  
Patrick Dobbins, Director-present  
Sarah Mansergh, Clerk-present**

Jean Locke H78, Kip Stephens Cy24, Brent Turner P39, Joe Maddie H13, Diana H74, J Beekley H90, pErcy Kawas P45, Laurie Wingate H104, Kelly Grass P3, Deb and John Miller H12, Peter McDonald H65, Tom Johnson, Mickey Pajaro Dunes Company, Kim Young P3, Bridgid Barron P62, John Kohler H41, George Kraw H76, Stacey Stillman

## **B. NEW BUSINESS**

---

### **1. ITEM- Presentation-Pajaro Dunes Rock Revetment Project and 2024 218 election**

- a. Board and Staff Report
- b. Public comment
- c. Board discussion

d. Board action /direction

**The Pajaro Dunes Rock Revetment Project was presented along with estimated costs, total maximum assessment and total annual assessments expected. A review of the FAQs was also provided. No action was taken.**

2. ITEM- Discuss and consider future communications concerning the Pajaro Dunes Rock Revetment Project and 218 election process

a. Board discussion

b. Board direction

**The same presentation will be provided on May 18<sup>th</sup> and June 1<sup>st</sup> and the TBD in late July when ballots will also be tabulated. Finalized Engineer's Report will be provided with the initiation of the 218 procedure.**

## **H. DIRECTORS COMMENTS AND CONCERNS**

---

Members of the Board of Directors may address items of concern at this time and may request that items be placed on future agendas in accordance with the By-laws of the Board.

## **I. ADJOURNMENT**

**The meeting was adjourned at 11:17am**

---

The next Meeting of the Board of Directors is scheduled for May 18<sup>th</sup>, 2024, at 9:00 a.m. online via Zoom and at the offices of the Pajaro Dunes Geologic Hazard Abatement District, Board Room, Pajaro Dunes, 2661 Beach Road, Watsonville, CA 95076. Individuals who require special accommodations are requested to contact the District Clerk by calling (831) 818-9253, no less than 72 hours prior to the meeting or in the case of a Special Meeting, as soon as possible after the Agenda is posted. Copies of the agenda will be available 72 hours prior to the meeting and may be obtained by contacting the District at (831) 761-7744. All meetings are noticed and conducted in accordance with the Ralph M. Brown Act.

# PDGHAD

**MEETING MINUTES  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT  
HYBRID MEETING in person at**

**Board Room  
2661 Beach Rd.  
Watsonville, CA 95076**

**Saturday, May 18<sup>th</sup>, 2024 8:30 a.m.**

**And via ZOOM**

**Join Zoom Meeting**

**<https://us02web.zoom.us/j/82232811149?pwd=WWlvcUkwQlBpb1hULzIEUEV4UXV5UT09>**

**Meeting ID: 822 3281 1149  
Passcode: 608360  
Phone in: +1 669 900 9128 US**

**If you have any questions, please contact the District Clerk at [pdghad@gmail.com](mailto:pdghad@gmail.com)**

## **A. OPEN SESSION CALL TO ORDER – PLEDGE OF ALLEGIANCE**

---

### **Roll Call**

**John Cullen, President-present  
David Ferrari, Vice-President-present  
Raphael Kraw, Treasurer-present**

**Michael Butner, Director-present  
Patrick Dobbins, Director-present  
Sarah Mansergh, Clerk-present**

Also attending: Michael Rodriquez (counsel), Wendy Cumming (accountant), Kate Krug (engineering firm), Karen Tomajan P74, Fred Hodder P76, Peter H94, Barb Deney H142, Stacey Stillman H84, John Banning H106, Laura and Mike Mather (H103), Nancy Bilicich (Pelicans Board), Tom Kelly Scott Pastrone, John Liddle

## **B. MEMBER COMMENTS**

---

Matters under the jurisdiction of the Board and not on the posted agenda, may be addressed by members of the public before the Board for consideration. However, California law prohibits the Board from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the

Board of PDGHAD. Any person wishing to address the Board during the Member Comment period shall be permitted to be heard for up to 3 minutes, A) individuals may speak only once and B) the Board is unable to address any owner comments in depth but may choose to direct the Clerk to follow-up on the matter for a future meeting.

### **C. PRESIDENT’S REMARKS**

---

The President will use this opportunity to inform the public of issues affecting the District and other items of a general nature not otherwise provided for on this agenda.

#### **2024 Proposed Dates**

June 1<sup>st</sup>, 2024

July-possible TBD

August 3<sup>rd</sup>, 2024

October 5<sup>th</sup>, 2024

December 14<sup>th</sup>, 2024

### **D. CONSENT CALENDAR**

---

All matters listed on the Consent Calendar are considered to be routine by the Board of Directors and will be enacted by one motion at the appropriate time. There will be no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Calendar and will be considered separately.

1. Approval of meeting minutes from March 9<sup>th</sup>, 2024

**Deferred to June 1<sup>st</sup> meeting.**

### **E. TREASURER’S REPORT**

---

#### **2. Financial Reports**

- Financial Report through April 2024
- Warrant listing

**Financial Report through April 2024 was presented. On budget or under budget in most categories.**

### **F. MEETING reports**

---

2. Meetings attended by Directors at District expense since the last meeting of the Board (per AB1234 requirements). Such reports may be made orally or in writing.

### **G. NEW BUSINESS**

---

1. ITEM- Presentation-Pajaro Dunes Rock Revetment Project and 2024 218 election
  - a. Board and Staff Report
  - b. Public comment
  - c. Board discussion
  - d. Board action /direction

**The Pajaro Dunes Rock Revetment Project was presented along with estimated costs, total maximum assessment and total annual assessments expected. No action was taken.**

2. ITEM – Review timeline and continue to June 1, 2024 meeting resolutions appointing Engineer of Record, considering Engineer’s Report; considering President’s Report; considering Assessment Notice and approving balloting procedures and ballots. Board to provide direction of any additional information requests.

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

**Michael Butner moves to continue the meeting resolutions to the June 1<sup>st</sup>, 2024 meeting. David Ferrari seconds. Michael Butner-aye, John Cullen-aye, Patrick Dobbins-aye, David Ferrari-aye, Raphael Kraw-aye. Approved 5-0**

8. ITEM – Consider RFP responses for a new accounting firm to provide yearly audit services.

- a. Board report
- b. Public comment
- c. Board discussion
- d. Board action

**Rapahel Kraw moves to approve engaging the services of Brent Jolley CPA for our yearly audit. David Ferrari seconds. Michael Butner seconds. Michael Butner-aye, John Cullen-aye, Patrick Dobbins-aye, David Ferrari-aye, Raphael Kraw-aye. Approved 5-0**

## **H. DIRECTORS COMMENTS AND CONCERNS**

---

Members of the Board of Directors may address items of concern at this time and may request that items be placed on future agendas in accordance with the By-laws of the Board.

### **I. ADJOURNMENT**

**The meeting was adjourned at 9:50am**

---

The next Meeting of the Board of Directors is scheduled for June 1<sup>st</sup>, 2024, at 9:00 a.m. online via Zoom and at the offices of the Pajaro Dunes Geologic Hazard Abatement District, Board Room, Pajaro Dunes, 2661 Beach Road, Watsonville, CA 95076. Individuals who require special accommodations are requested to contact the District Clerk by calling (831) 818-9253, no less than 72 hours prior to the meeting or in the case of a Special Meeting, as soon as possible after the Agenda is posted. Copies of the agenda will be available 72 hours prior to the meeting and may be obtained by contacting the District at (831) 761-7744. All meetings are noticed and conducted in accordance with the Ralph M. Brown Act.

DRAFT

## Staff Report-

### Proposed Assessment Election for Pajaro Dunes Seawall Maintenance and Repair Plan Project

At today's meeting the District Board will consider taking action to commence the process to levy annual assessments over a ten-year term to cover the costs for the Pajaro Dunes Seawall Maintenance and Repair Project ("Project") on all properties in Zone 1 of the Pajaro Dunes Geologic Hazard Abatement District ("District"). The Project entails the long-needed repair and restoration of portions of the seawall for which all properties in Zone 1 of the District are responsible. The seawall has been repeatedly damaged by coastal erosion occurring during severe winter storms since its construction in 1986-88. After years of effort, the District has been able to obtain Santa Cruz County's approval of a Seawall Maintenance and Repair Plan prepared by Cal Engineering and Geology, Inc. (now Haley & Aldrich, Inc.), that allows the District to pull a grading permit for repair and restoration activities. The Project proposes to repair and restack portions of the seawall to essentially restore and preserve the original seawall configuration. Rock previously placed for emergency seawall repair on California State Parks property in 2003, as well as rock that has been displaced over time within and adjacent to the seawall itself, will be used for the Project. The Project is planned to impact a 1,900-foot-long segment of the seawall. If the proposed assessments are approved, the Project, which has an estimated construction period of three months, is planned to move forward in the second half of 2025. (Many factors, including weather and County imposed environmental mitigations, dictate the dates during which construction may be performed.) Unless the involved repair and restoration work is performed, there is an ongoing risk that weakened portions of the wall will be breached during upcoming storms, causing flooding and possible structural damage to homes throughout the District.

The Board's plan is to assess and collect the balance of the proposed Project costs by annual assessment over a term not to exceed ten (10) years. The Board plans to use the assessments as security for a loan for Project costs. Based on an Engineer's Report prepared by Haley & Aldrich, Inc., the total estimated Project cost, including interest on a loan, is \$3,524,920. In reliance on this estimate, the Engineer has prepared a table that provides both the total maximum pro rata amount of estimated costs that can be assessed on each parcel of property, as well as the maximum annual assessment over the ten-year term of the assessment. The maximum assessment for each parcel and the annual assessment schedule (including the first Fiscal Year 2024/2025 assessment), are set forth in an Engineer's Report scheduled for the Board's acceptance this morning. Once the final cost of the Project has been fully funded, in an amount not to exceed the estimated Project cost of \$3,524,920, no further assessments related to the Project may be levied. If Project costs are less than the Engineer's estimate the Board will have the ability to reduce annual assessments and/or reduce the term in which assessments are levied.

As is evidenced by the Agenda, the assessment process, as set forth in Division 17 of the California Public Resources Code and Section 4 of Article XIID of the California Constitution, is fairly complex. The process requires all proposed new assessments to be put to a vote of impacted property owners. At this morning's meeting, the Board will be considering the adoption of the Haley & Aldrich Engineer's Report, which establishes the estimated Total Budget for the Project, the basis for the proposed new assessments, the means of calculating the new assessments, and the Maximum Annual per parcel assessments. Thereafter, the Board will declare its intent to levy the first proposed assessment based on the Report in the coming 2024-2025 Fiscal Year. Other related resolutions subject to the Board's consideration include

approval and acceptance of the President's Report (which contains a condensed version of relevant information in the Engineer's Report), the balloting procedures to be used for voting on the proposed assessment, the actual form of the ballots to be sent to property owners, and the notice of assessment balloting and related public hearing that will be provided to all property owners.

If the involved resolutions are approved, the Clerk will distribute the Notice of Assessment Balloting and Public Hearing and the Ballots to all property owners. Owners will have up to the time of the conclusion of a public hearing, scheduled for July 27, 2024 at 9:00 a.m. to vote on the proposed Project assessments. There will also be another information session to answer questions pertaining to the assessment ballot measure before that public hearing. Information concerning the proposed new assessment, including the Engineer's Report, is also available on the District's website at [pdghad.org](http://pdghad.org)

If the assessment passes, the assessment information will be transmitted to the County Assessor's Office for collection on an annual basis for a term not to exceed ten-years, with the first assessment installment being imposed in Fiscal Year 2024-2025. If there is a majority protest to the assessment, based on a weighted vote, the Board may not take action to levy the new proposed assessment. Other existing annual assessments in the District will continue to be approved by separate action and will be collected from District property owners in accordance with previously approved procedures.

**BOARD OF DIRECTORS  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT**

**Resolution Appointing the Engineer of Record, Accepting Engineer’s Report for the 2024 Assessment Election and Declaring Intention to Authorize and Levy an Assessment in Zone 1 for the Pajaro Dunes Seawall Maintenance and Repair Plan Project Pursuant to Division 17 of the California Public Resource Code**

**RESOLUTION No. 2024-01**

**WHEREAS**, in 1999, the Board of the Pajaro Dunes Geologic Hazard Abatement District (“Pajaro Dunes GHAD”) approved a benefit assessment district and attendant assessments to establish and maintain a stable source of funding to pay for the costs and incidental expenses associated with the maintenance and operation of improvements located within the District’s boundaries; and

**WHEREAS**, at noticed public meetings conducted over the course of the last several years, the Pajaro Dunes GHAD Board (“Board”) has discussed and received input from the public on the need to adopt and fund a plan for repair and restoration of portions of the seawall that provides protection from ocean-related hazards to all properties in District Zone 1; and

**WHEREAS**, after due consideration of budgetary matters, consultation with the Santa Cruz Planning Department and various consultants, and Board and public input, the Board has decided to move forward with the Pajaro Dunes Seawall Maintenance and Repair Plan Project (“Project”) and had provided direction to Staff to prepare documents necessary to initiate the process for consideration of an assessment needed to cover all costs associated with the Project; and

**WHEREAS**, Section 4 of Article XIID of the California Constitution (Proposition 218) requires that the assessments for a special district like the Pajaro Dunes GHAD be supported by a report prepared by a registered professional engineer; and

**WHEREAS**, an Engineer’s Report has been prepared for a new assessment pursuant to Section 4 of Article XIID of the California Constitution for the Pajaro Dunes GHAD Administrative and Operations Budget by registered civil engineer Dan Peluso of Haley and Aldrich, Inc.; and

**WHEREAS**, the Board has received the written Engineer’s Report; and

**WHEREAS**, the Engineer’s Report contains the following information and/or findings:

1. The Board is seeking approval of new assessments, to be levied over a ten-year term, to fund the Pajaro Dunes Seawall Maintenance and Repair Plan Project. The Project proposes to perform maintenance and to repair portions of the seawall to restore and preserve the original seawall configuration using both rock previously placed for emergency seawall repair on California State Parks property in 2003 as well as rock that

has been displaced over time within and adjacent to the seawall itself. Assessments will be used as security for and to pay back a loan to be obtained to engage a contractor, selected by public bidding, to perform the involved seawall repair work. Project costs also cover environmental mitigation and related ongoing monitoring.

Table 1 of the Engineer's Report provides the Engineer's Estimate for Total Project costs, \$3,524,920. This figure represents the Maximum Total Assessment that may be levied for the Project. Table 2 of the Report establishes the proportionate share of the estimated Maximum Total Assessment as well as the proposed Maximum Annual Assessments that would be assessed on properties in District Zone 1 over a ten-year period, from Fiscal Year 2024-2025 through 2033-2034. Section 3 of the Engineer's Report provides a description of the method used to establish the assessments.

2. Table 2 of the Engineer's Report correctly states the special benefit derived by all parcels in Zone 1 in relation to the total cost of the Project.
3. No assessment is imposed on any parcel which exceeds the reasonable cost of the proportional special benefit conferred on that parcel.
4. The only benefits assessed are special, and any general benefits have been excluded.
5. No parcel owned by any local government agency of the State of California or the United States receives any special benefit from the proposed assessment.
6. There is a valid basis for the stated assessment.
7. The table of the assessments for each parcel is attached to the Engineer's Report as Table 2; and

**WHEREAS**, in addition to the aforesaid Engineer's Report, the Board of Directors has received a President's Report which reiterates the need for the new assessment and identifies the method used in formulating the estimated assessments; and

**WHEREAS**, after considering the Engineer's Report, the President's Report and any additional information and evidence provided to the Board by Staff or public comment, the Board finds it is in the best interest of the Pajaro Dunes GHAD and its owners and inhabitants to declare its intention to levy the proposed assessments in accordance with such information.

**NOW THEREFORE, IT IS HEREBY RESOLVED** by the Board of the Directors of the Pajaro Dunes Geologic Hazard Abatement District as follows:

Section 1. All of the recitals set forth above are true and correct to the best of the Board's knowledge, and by this reference, are incorporated herein as findings.

Section 2. The Board hereby appoints and designates Haley & Aldrich, Inc. as the Engineer of Record/Work for the District's Pajaro Dunes Seawall Maintenance and Repair Plan Project and

has directed Haley & Aldrich to provide and file the Engineer's Report for the proposed assessment.

Section 3. The Board of Directors hereby accepts and adopts the Engineer's Report, attached hereto as Exhibit "A," and instructs the District Clerk to file the report in the official records of the District. By way of separate action, the Board has accepted the aforementioned President's Report, a copy of which is attached hereto as Exhibit "B."

Section 4. The Board declares its intention under the authority of the Geologic Hazard Abatement District Law, Public Resources Code Sections 26650 et seq. and Article XIID, Section 4 of the California Constitution, to seek the approval of the members of Zone 1 to levy a new benefit assessment on an annual basis over a ten year period upon real property within the Pajaro Dunes GHAD to cover the District's costs for the Pajaro Dunes Seawall Maintenance and Repair Plan Project, as detailed in the Engineer's Report, the President's Report, and described in the recital set forth above. The Total Project Cost and Maximum Assessment to be levied for the Project, and the Maximum Annual Assessments, the first of which is to be assessed in Fiscal Year 2024-2025, are proposed as follows:

- A. The estimated Total Project Cost and Assessment and the Maximum Annual Assessments to be assessed from Fiscal Year 2024-2025 through 2033-2034 in Zone 1 are shown in Tables 1 and 2 of the Engineer's Report.
- B. The lien date shall be that prescribed by law.
- C. The proposed assessments are based on estimated Project budgets for repair, maintenance, monitoring and interest costs prepared and provided by Staff and consulting engineers Haley and Aldrich, Inc. The assessments are proportional to the special benefit derived by each parcel in relationship to the total cost of the Project. No assessment exceeds the reasonable cost of the proportional special benefit conferred on each assessment parcel. The special benefit conferred on each parcel in Zone 1 supports the collection of funds for maintenance and repair of the seawall that protects all properties located in Zone 1 from potential damage from ocean hazards, including coastal erosion and flooding.
- D. The assessments have been calculated on the basis of standard cost allocation formulas previously adopted by the Pajaro Dunes GHAD Board and established when the District was created by the County Board of Supervisors on October 27, 1998. These same formulas were reviewed and approved for use by engineers for the last assessment process in 2018.

The District Clerk is directed to provide all property owners with a "Notice of Assessment Balloting and Public Hearing" and Assessment Ballot, in the approved form, for use in voting on the proposed assessments.

Section 5. Public Hearing. On July 27, 2024, at 9:00 a.m., the Board will hold a public hearing at the Pajaro Dunes Meadow Room, 2661 W. Beach Road, Watsonville, California, 95076 to

hear protests on the proposed Pajaro Dunes Seawall Maintenance and Repair Plan Project benefit assessments. By way of separate action, the Board has approved the form of the notice of the public hearing, which was prepared in accordance with Subsections (c) and (d) of Section 4 of Article XIID of the California Constitution and Public Resources Code Section 26652.

Section 6. Assessment Ballot Procedures. As required by Section 4 of Article XIID of the California Constitution, an Assessment Ballot will be enclosed with the notice of the assessment balloting. The assessment ballot may be used by the owner(s) who are responsible for the payment of the assessment to support or oppose the proposed assessment. The assessment ballot instructions will tell the property owner how to cast the assessment ballot.

At the conclusion of the public hearing of protests on July 27, 2024, the assessment ballots will be tabulated, with ballots being weighted in accordance with the amount of the proposed assessment, and the results will be announced; provided that if the Board needs more time to count assessment ballots, it may delay the announcement to a later meeting at a specified date. If the weighted assessment ballots in opposition to the proposed assessment exceed weighted assessment ballots in support, there will be a “majority protest,” and the Board may not impose the proposed assessment. The Board President shall have the authority to designate an independent party to tabulate the ballots.

Section 7. Protests. At the public hearing, the Board will consider all objections or protests, if any, to the proposed assessments. At the public hearing any person shall be permitted to present written or oral testimony. The public hearing may be continued from time to time.

Section 8. Answering Inquiries. The Board designates Board President John Cullen as the person to answer inquiries regarding the proposed assessment and the ballot proceedings. Inquiries may also be made to Board Clerk Sarah Mansergh.

Section 9. In the event the new proposed Project assessments are approved, the annual assessments will be added to the County Tax Roll for a period of not to exceed 10 -years, from Fiscal Year 2024-2025 through 2033-2034. In the event the proposed Budget assessment does not receive majority approval, the assessments will not be added to the County Tax Roll.

Section 10. In the event the Project costs are less than the Engineer’s estimated Maximum Total Project Cost, the Board will either reduce the assessments or shorten the period in which assessments are levied.

**PASSED AND ADOPTED** by the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District of the County of Santa Cruz, State of California, this 1st day of June, 2024 by the following vote:

**AYES:** Directors \_\_\_\_\_

**NOES:** Directors \_\_\_\_\_

**ABSENT:** Directors \_\_\_\_\_

**ABSTAIN:** Directors \_\_\_\_\_

\_\_\_\_\_  
John Cullen, President, Board of Directors

**ATTEST:** \_\_\_\_\_  
Sarah Mansergh, Clerk of the Board

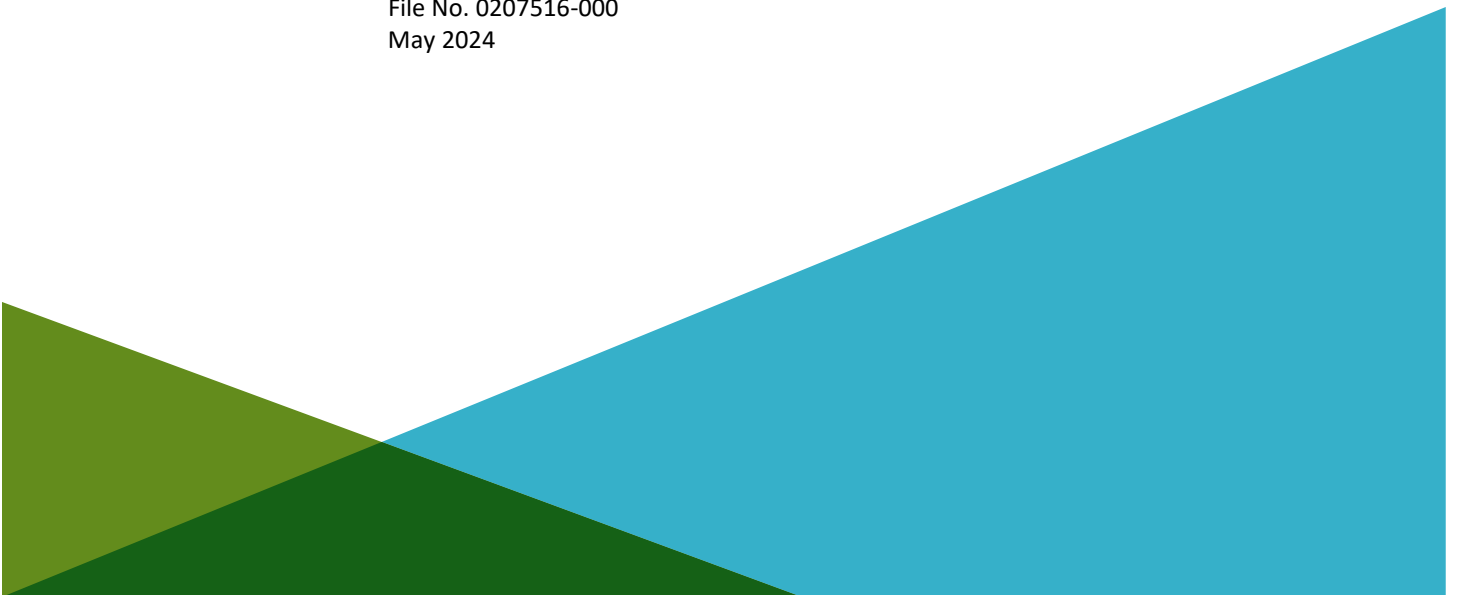


**REPORT ON**  
**PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT (PDGHAD)**  
**ENGINEERS REPORT ISSUE NO 04**  
**SANTA CRUZ COUNTY, CALIFORNIA**

by  
Haley & Aldrich, Inc.  
San Jose, California

for  
PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT  
Santa Cruz County, California

File No. 0207516-000  
May 2024





HALEY & ALDRICH, INC.  
6455 Almaden Expressway  
Suite 100  
San Jose, CA 95120

29 May 2024  
File No. 0207516-000

PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT  
2661 West Beach Road  
Santa Cruz County, California 95076

Attention: Sarah Mansergh

Subject: PDGHAD Engineers Report Issue No 04  
Pajaro Dunes Seawall Maintenance and Repair Plans Project  
Pajaro Dunes  
Santa Cruz County, California

Ladies and Gentlemen:

The undersigned submits this Engineer's Report as directed by the Board of the Pajaro Dunes Geologic Hazard Abatement District (PDGHAD) pursuant to Section 54703 et seq. of the California Government Code. This report provides updated assessment amounts that will be the subject of a 2024/2025 assessment election. The assessment comprises one component/project: A **"Pajaro Dunes Seawall Maintenance and Repair Plans Project"** Expense Fund to establish a source of funding to return the existing rock revetment to its original design geometry. The work items will include the following:

- Removal of rock material temporarily added to State Park Lands during the early 2000s,
- Removal of rock material temporarily added to Pajaro Dunes property during the early 2000s and,
- Restacking of existing revetment rock material.

Maintaining the original design of the revetment is an activity required under the PDGHAD "Operation and Maintenance Manual." The work or project is considered part of the repair and maintenance of the revetment and is referred to within this report as "Pajaro Dunes Seawall Maintenance and Repair Plans Project".

The project costs, which are the subject of this report, are briefly described in Section 1. This Report includes five parts, as follows:

1. Description of the return to original condition project costs.
2. An estimate of the cost for work on the rock revetment.
3. An assessment of the estimated cost to repair and maintain the rock revetment for each benefited parcel of land within the assessment district.

4. A statement of the previously applied and utilized method by which the amount is proposed to be assessed against each parcel.
5. Rock Revetment Maintenance Plans- showing all of the parcels of real property directly impacted by the proposed work and within this assessment district.
6. Costs and work outlined in this report DO NOT include ongoing maintenance, annual inspections, or other activities outside the specific project described herein.

This detailed Engineer's Report was prepared under Article XIII D of the California Constitution by Dan Peluso, a Senior Principal Engineer at Haley & Aldrich, Inc. (Haley & Aldrich), a registered professional engineer licensed by the State of California.



---

Dan Peluso, P.E., G.E.  
Senior Principal Engineer

May 29, 2024

Date

Enclosures

<b>List of Tables</b>	<b>iii</b>
<b>List of Appendices</b>	<b>iii</b>
<b>1. Description of Pajaro Dunes Seawall Maintenance and Repair Plans Project Expenses</b>	<b>1</b>
1.1 SITE DESCRIPTION	1
1.1.1 Pajaro Dunes Development	1
1.1.2 Existing Revetment Configuration	1
1.1.3 Existing Revetment Damage	2
1.2 PROJECT DESCRIPTION	2
<b>2. Cost Estimate</b>	<b>3</b>
<b>3. Cost Allocation Method</b>	<b>6</b>
<b>4. Cost Allocation</b>	<b>8</b>
<b>5. Parcels Map &amp; Revetment Project Plan</b>	<b>18</b>

## List of Tables

<b>Table No.</b>	<b>Title</b>
I	Maximum Assessment Pajaro Dunes Seawall Maintenance and Repair Plans Project and Proposed Fiscal Years 2024/2025 to 2033/2034 Assessment Levy
II	Summary of Annual Assessments for each benefited parcel-Maximum Assessment for Fiscal Years 2024/2025 to 2033/2034 (10 years)
III	Proportional Benefit and Maximum Assessment by Benefit Category

## List of Appendices

<b>Appendix</b>	<b>Title</b>
A	Rock Revetment Project Plans

# **1. Description of Pajaro Dunes Seawall Maintenance and Repair Plans Project Expenses**

The content of this section of the Engineer’s Report and all following sections is being submitted pursuant to Article XIII D, Section 4 of the California Constitution.

A description of the improvement to be maintained or repaired with monies to be deposited in a “Pajaro Dunes Seawall Maintenance and Repair Plans Project and Fund” related to improvements in District Zone 1 (the District) is described in this section. The cost estimation presented in this report addresses the costs necessary to maintain and repair the rock revetment seawall (Zone 1) located at the Pajaro Dunes community in Watsonville, California, due to Santa Cruz County (the County) and State Park requirement for the District to remove rock placed during the 2002-2004 emergency storm response and to maintain the rock revetment design conditions.

The improvements addressed in this report are for the approximately 6,000-foot-long rock revetment on the ocean side of the development, comprised of approximately 110,000 tons of riprap, that was installed between 1986 and 1988. The rock revetment is located in PDGHAD Zone 1. The rock revetment has been partially damaged by several storm events by coastal erosion during relatively severe winter storms such as those that occurred from 2002 to 2004. Following each damaging storm event, emergency repairs were implemented by placing riprap in selected areas along the revetment.

Funds in the aforesaid Rock Revetment Maintenance and Repair Fund will not be used for maintenance or repair of the other major improvement in the District, the steel sheet pile river wall approximately 715 feet long constructed along the Pajaro River adjacent to the Pelican Point condominiums. The river wall is located in PDGHAD Zone 2 and is not addressed within this report.

District expenses include costs for permits, pre- and post-construction condition and biologic surveys, contracted removal of early 2000s rock and restacking, construction management, stair repairs, and construction costs associated with standards of practice, professional services (such as those necessary for the District accountant, clerk, and legal counsel), assessment calculations, District elections, board and District public outreach in support of the improvements referenced below.

## **1.1 SITE DESCRIPTION**

### **1.1.1 Pajaro Dunes Development**

The Pajaro Dunes community comprises private single-family residences, including detached residences and groups of townhouses and condominiums. These buildings were constructed along a narrow strip of land bounded by the Pacific Ocean on the southwest, the Pajaro River on the southeast, and Watsonville Slough on the northeast. Development of the community began in the late 1960s.

### **1.1.2 Existing Revetment Configuration**

Following several episodes of severe coastal erosion in the 1970s and 1980s, approximately 6,000 feet of rock revetment was constructed in three segments between 1986 and 1988 along the ocean side of the development. In addition, a steel sheet pile wall approximately 715 feet long was constructed along

the inland Pajaro River side of the development in 2003. This steel sheet pile wall is called the “river wall.”

The 6,000-foot-long rock revetment is comprised of approximately 110,000 tons of rock slope protection (RSP). In general, the rocks vary between 1 foot and 3 feet as measured in their longest dimension. The average rock is estimated to weigh about 8 tons.

The top of the revetment varies in elevation from 19.5 to 22.0 feet above mean sea level, and the base of the revetment is at elevation -2.0 feet mean sea level (NGVD 29); this is at approximate elevation +0.7 feet (NAVD 88). The revetment face is sloped between 1.5H:1V (horizontal: vertical) and 2.0H:1V. The toe of the rock revetment was constructed adjacent to the property line, separating the Pajaro Dunes development from the State of California Park Lands.

Pedestrian access from Pajaro Dunes properties to the beach within the limits of the project is provided by four timber boardwalks constructed in common areas between lots 4 and 5, 10 and 11, 93 and 94, and 98 and 99. The boardwalks lead to timber stairs that descend over the rock slope protection revetment to the beach below.

### **1.1.3 Existing Revetment Damage**

The rock revetment has been repeatedly damaged by coastal erosion, occurring during relatively severe winter storms since its original construction at least two times: in 2002/2003 and in 2004. A 400-foot-wide section of the revetment was affected in the vicinity of Lots 98 through 104, and a 135-foot-wide section was affected in the vicinity of Lots 15, 54, and 55. During the 2004 storm event, much of the beach became severely eroded, the toe of the revetment became exposed, and portions of the revetment were undermined along these sections.

Following each damaging storm event, emergency repairs were implemented by placing rock slope protection (RSP) in selected areas along the revetment. The repaired area in 2003 measured a total length of approximately 420 feet of revetment using approximately 675 tons of RSP. The repaired area in 2004 measured a total length of approximately 55 feet of revetment using approximately 185 tons of RSP.

The California State Parks Department gave permission to the Pajaro Dunes GHAD to temporarily place rock slope protection on State Parks’ property fronting lots 98 to 103 with the understanding that the rocks would be removed as part of a future permanent repair. One of the objectives of this project is to remove the encroaching rock slope protection and utilize it in the revetment repair.

## **1.2 PROJECT DESCRIPTION**

This project will focus on repairing damage to a nearly 1,900-foot-long segment of rock revetment along the western property boundary of lots 1 to 12, lots 94 to 103, and lot 107, as well as removing rocks encroaching on State property fronting lots 98 to 103. The rock revetment is located in and protects all properties in the District, designated as Zone 1. The Pajaro Dunes development and the approximate location of the proposed repair area are shown in Sheet 2, Site Plan (Appendix A).

The repair will be focused on returning the rock revetment to the original design configuration to reduce the potential for movement resulting from settlement and instability caused by coastal erosion undermining the revetment during large storm events.

## 2. Cost Estimate

An estimate of the costs to return the rock revetment to its original condition is described in this section. An assessment election is being conducted to establish a Pajaro Dunes Seawall Maintenance and Repair Plans Project Fund at the Pajaro Dunes development.

Pajaro Dunes Seawall Maintenance and Repair Plans Project -Construction will consist of the following items:

- Permitting and County/State requirement adherence (Biological studies and monitoring);
- LiDAR and detailed observation documentation, pre- and post-construction surveying of the nine homes with High Proximity to the work zone, planned directly within the PDGHAD right of way;
- Detailed observation documentation, pre- and post-construction surveying of the 19 parcels within the planned work zone and directly within the PDGHAD right of way;
- Removal and replacement of up to seven timber boardwalks and stairs that pose an impediment to construction activities;
- Removal and stockpiling of existing rocks placed on the State Beach property as part of a previous emergency repair effort during 2003 and 2004 storm events, currently concealed beneath beach sand, for subsequent project repair use.; and
- The stockpiled rocks and out-of-place rocks on the existing revetment will be placed on top of the existing rock revetment in over-steepened areas to restore the pre-construction top-surface configuration (gradient) of the revetment. Stacked revetment rocks shall be placed in a way that attains three-point bearing contact with the underlying rocks.

The amount of the Fund is based on estimates of costs provided by Haley & Aldrich, the District's consulting engineer, and the engineer of record for this project. Costs associated with unknown variables (e.g., biological mitigation measures, inclement weather, and high tides.) may occur. As such, an additional 15% of the estimated cost has been added to the total cost presented here to allow the ability to respond to these conditions and continue with planned work.

Table 1 presents the maximum assessment for Zone 1 and a breakdown of the project cost required to complete the project. The costs assume three to six months of permitting and preparation, with fieldwork carried out over a three-month period in late 2025.

It is understood that the PDGHAD will acquire the total budget through a loan secured by the proposed assessment, and the assessment value will then be applied to all of the properties in Zone 1 based on the PDGHAD fixed percentage assignment (see subsequent sections of the report). The assessment payments will include the cost of a loan for the project, with a 9% annual interest rate totaling \$1,236,303. Payment of the total loan amount will be spread out over 10 years.

It is worth noting that The Pajaro Dunes Seawall Maintenance and Repair Plans Project Fund is capped at \$3,524,920. The District may only collect a maximum of \$3,524,920 over the established 10-year assessment period. The Fund will also be kept in a separate account from other District funds.

**Table 1. Project Cost Estimates and Maximum Assessment Rock Revetment Repair**

Item No.	Estimated Cost	Description	Cost Criteria / Basis
1	\$ 1,029,898	<b>Construction</b>	<p>Cost estimate for completion of rock removal work provided by District and only includes the following:</p> <ul style="list-style-type: none"> <li>- Provide a shoring plan by a licensed engineer prior to commencing work</li> <li>- Excavate existing rock and move as shown on plans.</li> <li>- After all rock is placed, contractor will backfill all voids with sand.</li> <li>- No import of rock or sand is included. The price assumes both rock and sand are on site for our use.</li> <li>- Traffic control for contractor’s work (limited to flagman and signage) when mobilizing and demobilizing equipment.</li> <li>- All items of work to be performed based on one mobilization</li> <li>- Notify underground service alert</li> <li>- Permits will be by the owner</li> <li>- Dust control, including water based on using onsite source</li> </ul>
2	\$ 68,729	<b>Construction Management</b>	<p>Scope and purpose: Overall project management; coordinate efforts with the general contractor, County, and PDGHAD; HASP preparation; Weekly virtual meetings (1.5 hours per 4 weeks, for 3 months); dispatch; client communications (~2-4 hrs for every week of field time).</p> <ul style="list-style-type: none"> <li>-An estimated level of effort is provided for the RFI responses and submittal reviews.</li> <li>-Prepare Final Testing/Conformance Letter.</li> </ul>
3	\$ 230,000	<b>Construction preparation, SWIPP, Post-Construction Activities etc.*</b>	<p>Mobilization (Multiple contractors)                      Water Pollution Control                      Traffic Control                      Site Access and Staging                      Clearing and Grubbing</p>
4	\$ 288,800	<b>Remove &amp; Replace Beach Access Stairs</b>	Remove and Replace Beach Access Stairs (7 estimated in total at \$37,500. each)
5	\$ 161,385	<b>Construction Monitoring</b>	<p>Scope and purpose: Geotechnical inspectors are needed on-site full-time for 3 Months (12 weeks), M-F at 10 hrs/day, and are assumed to work two Saturdays a month during full-time work (6 days). All inspector rates include time for a senior technical staff member to review the inspector's submittals and work products. Expenses include per diem and truck day rate expenses.</p>
6	\$ 12,000	<b>Biological Assessment</b>	<p>In the months immediately preceding construction, the Site will need to be assessed for protected plants, birds, and any other sensitive habitat or endangered species. This will inform the areas requiring protective measures and potential monitoring. This report will need to be reviewed by the County. Cost estimated by doubling the 6k estimate provided 4 years ago.</p>
7	\$8,000. Unknown (8k to 172k possible)	<b>Biological Monitoring*</b>	<p>Areas identified as requiring protection and monitoring may need to be observed by a full-time on-site biologist (dependent on the type of sensitive habitat or endangered species identified, works proximity to them, and any specific County or State requirements for monitoring). Full-time cost may match Construction observation cost as a “highest cost” scenario.</p>
8	\$ 4,050	<b>County Permit &amp; Inspections</b>	Estimated from building permit estimating tool provided by Santa Cruz County
9	Unknown	<b>State Park Permit &amp; Laydown-yard costs*</b>	State parks can charge encroachment permits or use of lands fees. Cost The cost is undetermined at this time.

Item No.	Estimated Cost	Description	Cost Criteria / Basis
10	Unknown	<b>Additional Permits*</b>	Additional agencies can decide to take jurisdiction and apply permits and other costs/schedule constraints to the project.
11	\$ 71,934	<b>Homes Proximal to work zone: Pre- &amp; Post-Construction Survey</b>	Scope and purpose: For the 19 homes, a pre and post-visual inspection and photo documentation survey will be completed (3 hrs x 2 in total with 2 individuals in-field and with time inclusive of writing up/house for both pre and post). Assume can complete fieldwork at a rate of 3 homes per day, x 2 for pre and post = 12 days (M-F, 10 hrs per day) pre and post in field aka 2.5 weeks. Expenses include per diem and truck ay rate expenses.
12	\$ 115,305	<b>Homes with High Proximity to work zone: Pre- &amp; Post-Construction Survey</b>	Scope and purpose: For 9 homes proximal to the revetment, two individuals will collect LiDAR and image scans of the home/parcel exterior (Assumes a single parcel (APN) will require 8 hrs of scans, with two individuals 1- running LiDAR, 2nd- documenting existing signs of distress. In-office processing (30 hrs for pre & post) will result in an image, a cloud point database, available to PDGHAD upon completion. Processing in the office will take a cumulative 7 weeks and will run concurrently with fieldwork if it can. Assume fieldwork is completed at a rate of 2 homes per day, x2 for pre and post x9 homes = 8 days (M-F, 10 hrs per day) pre and post in-field in 1.5 weeks.
13	Unknown	<b>Additional LiDAR Survey*</b>	Note Pre and Post scans are assumed, and no additional time is estimated for change detection assessment as these would be carried out upon request from PDGHAD or in the event of a complaint.
N/A	<b>Total Estimated Costs*</b>	\$ 1,990,102	Addition of line items 1 through 13 (above)
14	\$ 298,515.	<b>15% contingency</b>	Contingency is meant to cover unforeseen conditions or requirements. The items/Tasks not covered in the "Construction" quote (Line Item1) and the other listed costs include but are not limited to: <ul style="list-style-type: none"> <li>- Installation of temporary fencing, barricades, and/or pedestrian walkways</li> <li>- Vibration, subsidence, and/or noise prevention/monitoring</li> <li>- Layout, testing, inspections, engineering and/or surveying</li> <li>- Consequential and Liquidated Damages</li> <li>- Locating, marking, and protecting underground utilities and/or monitoring wells intended to remain</li> <li>- Overtime work hours</li> <li>- Asphalt protection</li> <li>- Removal of common perimeter fencing</li> </ul>
15	<b>9% Annual Loan Interest/10 yrs based on \$2.3mil. Cost</b>	\$ 1,236,303	<i>All assessments are subject to a 1% county collection fee, which is not included in the assessment total.</i> <i>* The provided line items and total estimate does not include all possible costs, and as such, some line items are designated as "unknown". Line items 14 and 15 were provided by PDGHAD.</i>
<b>Sum of line items 1 through 15=Total Budget*</b>		<b>\$ 3,524,920</b>	

### **3. Cost Allocation Method**

The District comprises two zones. Zone 1 is responsible for the maintenance of the rock revetment and all costs and expenses associated therewith and includes all properties of the District. Its boundaries coincide with the boundaries of the entire Pajaro Dunes development. Zone 2 is responsible for the maintenance of the sheet pile river wall and all costs and expenses associated therewith and includes all members of the Pelican Homeowners Association, a subdivision of the Pajaro Dunes development. The boundaries of Zone 2 coincide with the boundaries of the Pelican Point Condominium Project. The project does not include an assessment for any of the purposes for which Zone 2 was formed.

The rock revetment improvement is to be maintained and operated as a result of the formation of the Pajaro Dunes Geologic Hazards Abatement District. Said rock revetment has been installed within or in areas in close proximity to the developed residential lots and condominiums.

All costs associated with the Pajaro Dunes Seawall Maintenance and Repair Plans Project expenses associated with the Zone 1 improvements shall be spread to all parcels in Zone 1 on a prorated development unit basis.

Additionally, all costs associated with the newly proposed Fund shall be spread, in the manner referenced below, between all units in Zone 1. There will be no separate and additional assessment for the establishment of this Fund levied upon the Zone 2 units; all property owners located in Zone 1 will pay their proportionate share of the cost of the Fund via the Zone 1 assessment.

As a result of the foregoing, the developed residential lots in Zone 1 will receive 100% of the special benefits associated with the establishment of a fund to return the revetment to its original condition. These special benefits include enhanced neighborhood health, safety, and beautification, and improved quality of life, generated when the improvements provide protection against erosion from ocean and wave action and flooding. These benefits only occur when the improvements are in place, operable, safe, and maintained. The establishment of a fund for Pajaro Dunes Seawall Maintenance and Repair Plans Project will provide protection of improved property, enhanced comfort, and increase the desirability of the immediate surroundings of the residential units in the District.

A statement of the method by which the amount proposed to be assessed against each parcel was determined is described in this section. The cost allocation among various members of the PDGHAD was established when the District was created by the County Board of Supervisors on October 27, 1998. In the cost-allocation scheme, the major groups, Houses, Pelican Point Condominiums, and Cypress Grove Townhouses, share the costs based on the length of the seawall in the front of their respective areas. Per this cost-allocation scheme, in Zone 1, the cost shares for the Houses are 75.45%, Cypress Grove Townhouses are 11.85%, Pelican Point Condominiums are 10.18%, and the Pajaro Dunes Homeowners Association (Association) for the stairways is 2.53%.

Since the Pelican Point and Cypress Grove groups are condominium associations, they each share their portions of the costs equally among their members. In Zone 1, of the portion allocated to the houses, the front-row houses pay 85% of their share of the cost of the home allocation, Second-row homes pay 10% and back-row homes pay 5%. In addition, the shares for the front-row houses vary by a factor of two to one, depending on the width of the lot. The estimated GHAD budget for Fiscal Years 2024/2025-

2033/2034 by benefit categories is presented in Table 2-Assessment Assessment Roll - Fiscal Years 2024/2025 to 2033/2034 (10 years), in Section 4 of this report.

In summary, based on the foregoing, this Engineer's Report makes the following findings:

- i. The tables for Zone 1 correctly state the proportionate special benefit derived by each identified parcel in relationship to the total cost of services.
- ii. No assessment is imposed on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel.
- iii. The only benefits assessed are special, and any general benefits have been excluded.
- iv. No parcel owned by any governmental agency, the state of California, or the United States receives any special benefit from the proposed assessment.

## 4. Cost Allocation

This section presents the assessments for costs to each benefited parcel of land within assessment district Zones 1 for Fiscal Years 2024/2025 to 2033/2034, a 10-year annual assessment. A list of the Assessor’s Parcel Numbers for the individual lots and condominiums at the development is shown in Table 3. If approved, the lien date for the described assessments will be that prescribed by the law. This table apportions the proposed assessment for ten (10) Fiscal Years 2024/2025 to 2033/2034.

**Table 2. Summary of Annual Assessments for each benefited parcel-Maximum Assessment for Fiscal Years 2024/2025 to 2033/2034 (10 years)**

House/ Plot #	Unit	Unit Type	Assessor’s Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 1	1001	Row 1 Houses	052-281-05	0.0096800	34,121.22	\$ 3,412.12
H 2	1002	Row 1 Houses	052-281-06	0.00991	34,931.95	\$ 3,493.20
H 3	1003	Row 1 Houses	052-281-07	0.00991	34,931.95	\$ 3,493.20
H 4	1004	Row 1 Houses	052-281-08	0.01198	42,228.54	\$ 4,222.85
H 5	1005	Row 1 Houses	052-281-09	0.00998	35,178.70	\$ 3,517.87
H 6	1006	Row 1 Houses	052-281-10	0.00991	34,931.95	\$ 3,493.20
H 7	1007	Row 1 Houses	052-281-11	0.01062	37,434.65	\$ 3,743.46
H 8	1008	Row 1 Houses	052-281-12	0.00921	32,464.51	\$ 3,246.45
H 9	1009	Row 1 Houses	052-281-13	0.00921	32,464.51	\$ 3,246.45
H 10	1010	Row 1 Houses	052-281-14	0.00991	34,931.95	\$ 3,493.20
H 11	1011	Row 1 Houses	052-281-15	0.01062	37,434.65	\$ 3,743.46
H 12	1012	Row 1 Houses	052-281-16	0.01133	39,937.34	\$ 3,993.73
H 13	1013	Row 1 Houses	052-281-17	0.01091	38,456.87	\$ 3,845.69
H 14	1014	Row 1 Houses	052-281-18	0.01247	43,955.75	\$ 4,395.57
H 15	1015	Row 1 Houses	052-281-19	0.01416	49,912.86	\$ 4,991.29
H 16	1016	Row 2 Houses	052-281-20	0.00172	6,062.86	\$ 606.29
H 17	1017	Row 3,4 & 5 Houses	052-281-21	0.0009400	3,313.42	\$ 331.34
H 18	1018	Row 2 Houses	052-281-22	0.00172	6,062.86	\$ 606.29
H 19	1019	Row 2 Houses	052-281-24	0.00172	6,062.86	\$ 606.29
H 20	1020	Row 2 Houses	052-281-25	0.00172	6,062.86	\$ 606.29
H 21	1021	Row 3,4 & 5 Houses	052-281-26	0.0009400	3,313.42	\$ 331.34
H 22	1022	Row 3,4 & 5 Houses	052-281-27	0.0009400	3,313.42	\$ 331.34
H 23	1023	Row 3,4 & 5 Houses	052-281-28	0.0009400	3,313.42	\$ 331.34
H 24	1024	Row 3,4 & 5 Houses	052-281-29	0.0009400	3,313.42	\$ 331.34
H 25	1025	Row 3,4 & 5 Houses	052-281-30	0.0009400	3,313.42	\$ 331.34
H 26	1026	Row 3,4 & 5 Houses	052-281-32	0.0009400	3,313.42	\$ 331.34

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 27	1027	Row 3,4 & 5 Houses	052-281-33	0.0009400	3,313.42	\$ 331.34
H 28	1028	Row 2 Houses	052-281-34	0.00172	6,062.86	\$ 606.29
H 29	1029	Row 3,4 & 5 Houses	052-281-39	0.0009400	3,313.42	\$ 331.34
H 30	1030	Row 3,4 & 5 Houses	052-281-38	0.0009400	3,313.42	\$ 331.34
H 31	1031	Row 3,4 & 5 Houses	052-281-37	0.0009400	3,313.42	\$ 331.34
H 32	1032	Row 2 Houses	052-281-36	0.00172	6,062.86	\$ 606.29
H 33	1033	Row 2 Houses	052-281-35	0.00172	6,062.86	\$ 606.29
H 34	1034	Row 3,4 & 5 Houses	052-281-02	0.0009400	3,313.42	\$ 331.34
H 35	1035	Row 3,4 & 5 Houses	052-281-03	0.0009400	3,313.42	\$ 331.34
H 36	1036	Row 2 Houses	052-281-04	0.00172	6,062.86	\$ 606.29
H 37	1037	Row 2 Houses	052-291-17	0.00172	6,062.86	\$ 606.29
H 38	1038	Row 2 Houses	052-291-01	0.00172	6,062.86	\$ 606.29
H 39	1039	Row 2 Houses	052-291-02	0.00172	6,062.86	\$ 606.29
H 40	1040	Row 1 Houses	052-291-03	0.0085	29,961.82	\$ 2,996.18
H 41	1041	Row 1 Houses	052-291-04	0.0085	29,961.82	\$ 2,996.18
H 42	1042	Row 1 Houses	052-291-05	0.0085	29,961.82	\$ 2,996.18
H 43	1043	Row 1 Houses	052-291-06	0.0085	29,961.82	\$ 2,996.18
H 44	1044	Row 1 Houses	052-291-07	0.0085	29,961.82	\$ 2,996.18
H 45	1045	Row 1 Houses	052-291-08	0.0085	29,961.82	\$ 2,996.18
H 46	1046	Row 1 Houses	052-291-09	0.0085	29,961.82	\$ 2,996.18
H 47	1047	Row 1 Houses	052-291-10	0.0085	29,961.82	\$ 2,996.18
H 48	1048	Row 1 Houses	052-291-11	0.0085	29,961.82	\$ 2,996.18
H 49	1049	Row 2 Houses	052-291-12	0.00172	6,062.86	\$ 606.29
H 50	1050	Row 2 Houses	052-291-13	0.00172	6,062.86	\$ 606.29
H 51	1051	Row 2 Houses	052-291-14	0.00172	6,062.86	\$ 606.29
H 52	1052	Row 2 Houses	052-291-16	0.00172	6,062.86	\$ 606.29
H 53	1053	Row 3,4 & 5 Houses	052-291-15	0.0009400	3,313.42	\$ 331.34
H 54	1054	Row 1 Houses	052-601-11	0.00949	33,451.49	\$ 3,345.15
H 55	1055	Row 1 Houses	052-601-10	0.0085	29,961.82	\$ 2,996.18
H 56	1056	Row 1 Houses	052-601-09	0.00921	32,464.51	\$ 3,246.45
H 57	1057	Row 1 Houses	052-601-08	0.01006	35,460.69	\$ 3,546.07
H 58	1058	Row 1 Houses	052-601-07	0.00989	34,861.46	\$ 3,486.15
H 59	1059	Row 1 Houses	052-301-15	0.00992	34,967.20	\$ 3,496.72
H 60	1060	Row 1 Houses	052-301-16	0.00992	34,967.20	\$ 3,496.72
H 61	1061	Row 2 Houses	052-301-02	0.00172	6,062.86	\$ 606.29
H 62	1062	Row 2 Houses	052-301-03	0.00172	6,062.86	\$ 606.29
H 63	1063	Row 2 Houses	052-601-02	0.00172	6,062.86	\$ 606.29

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 64	1064	Row 2 Houses	052-601-03	0.00172	6,062.86	\$ 606.29
H 65	1065	Row 3,4 & 5 Houses	052-601-04	0.0009400	3,313.42	\$ 331.34
H 66	1066	Row 3,4 & 5 Houses	052-601-05	0.0009400	3,313.42	\$ 331.34
H 67	1067	Row 2 Houses	052-601-06	0.00172	6,062.86	\$ 606.29
H 68	1068	Row 1 Houses	052-291-20	0.0085	29,961.82	\$ 2,996.18
H 69	1069	Row 1 Houses	052-291-21	0.0085	29,961.82	\$ 2,996.18
H 70	1070	Row 1 Houses	052-291-22	0.0085	29,961.82	\$ 2,996.18
H 71	1071	Row 1 Houses	052-291-24	0.0085	29,961.82	\$ 2,996.18
H 72	1072	Row 1 Houses	052-291-25	0.0085	29,961.82	\$ 2,996.18
H 73	1073	Row 1 Houses	052-291-26	0.0085	29,961.82	\$ 2,996.18
H 74	1074	Row 1 Houses	052-291-27	0.0085	29,961.82	\$ 2,996.18
H 75	1075	Row 1 Houses	052-291-29	0.0085	29,961.82	\$ 2,996.18
H 76	1076	Row 1 Houses	052-291-30	0.0085	29,961.82	\$ 2,996.18
H 77	1077	Row 1 Houses	052-291-31	0.0085	29,961.82	\$ 2,996.18
H 78	1078	Row 1 Houses	052-291-32	0.0085	29,961.82	\$ 2,996.18
H 79	1079	Row 1 Houses	052-291-34	0.0085	29,961.82	\$ 2,996.18
H 80	1080	Row 1 Houses	052-291-35	0.0085	29,961.82	\$ 2,996.18
H 81	1081	Row 2 Houses	052-292-01	0.00172	6,062.86	\$ 606.29
H 82	1082	Row 2 Houses	052-292-02	0.00172	6,062.86	\$ 606.29
H 83	1083	Row 2 Houses	052-292-03	0.00172	6,062.86	\$ 606.29
H 84	1084	Row 2 Houses	052-292-04	0.00172	6,062.86	\$ 606.29
H 85	1085	Row 2 Houses	052-292-05	0.00172	6,062.86	\$ 606.29
H 86	1086	Row 2 Houses	052-292-06	0.00172	6,062.86	\$ 606.29
H 87	1087	Row 2 Houses	052-292-07	0.00172	6,062.86	\$ 606.29
H 88	1088	Row 2 Houses	052-292-08	0.00172	6,062.86	\$ 606.29
H 89	1089	Row 2 Houses	052-292-09	0.00172	6,062.86	\$ 606.29
H 90	1090	Row 1 Houses	052-321-01	0.01034	36,447.67	\$ 3,644.77
H 91	1091	Row 1 Houses	052-321-02	0.00906	31,935.77	\$ 3,193.58
H 92	1092	Row 1 Houses	052-321-03	0.01048	36,941.16	\$ 3,694.12
H 93	1093	Row 1 Houses	052-321-04	0.00878	30,948.80	\$ 3,094.88
H 94	1094	Row 1 Houses	052-321-05	0.01034	36,447.67	\$ 3,644.77
H 95	1095	Row 1 Houses	052-321-06	0.00977	34,438.47	\$ 3,443.85
H 96	1096	Row 1 Houses	052-321-07	0.00991	34,931.95	\$ 3,493.20
H 97	1097	Row 1 Houses	052-321-08	0.00991	34,931.95	\$ 3,493.20
H 98	1098	Row 1 Houses	052-321-09	0.00887	31,266.04	\$ 3,126.60
H 99	1099	Row 1 Houses	052-321-10	0.00906	31,935.77	\$ 3,193.58
H 100	1100	Row 1 Houses	052-321-11	0.00991	34,931.95	\$ 3,493.20
H 101	1101	Row 1 Houses	052-321-12	0.0100	35,213.95	\$ 3,521.39
H 102	1102	Row 1 Houses	052-321-13	0.00917	32,323.51	\$ 3,232.35
H 103	1103	Row 1 Houses	052-321-14	0.00935	32,958.00	\$ 3,295.80

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 104	1104	Row 1 Houses	052-321-15	0.00991	34,931.95	\$ 3,493.20
H 105	1105	Row 1 Houses	052-321-16	0.0102	35,954.18	\$ 3,595.42
H 106	1106	Row 1 Houses	052-321-17	0.00935	32,958.00	\$ 3,295.80
H 107	1107	Row 1 Houses	052-321-18	0.00878	30,948.80	\$ 3,094.88
H 108	1108	Row 2 Houses	052-321-19	0.00172	6,062.86	\$ 606.29
H 109	1109	Row 2 Houses	052-321-20	0.00172	6,062.86	\$ 606.29
H 110	1110	Row 2 Houses	052-321-21	0.00172	6,062.86	\$ 606.29
H 111	1111	Row 2 Houses	052-321-22	0.00172	6,062.86	\$ 606.29
H 112	1112	Row 2 Houses	052-321-23	0.00172	6,062.86	\$ 606.29
H 113	1113	Row 3,4 & 5 Houses	052-321-24	0.0009400	3,313.42	\$ 331.34
H 114	1114	Row 2 Houses	052-321-25	0.00172	6,062.86	\$ 606.29
H 115	1115	Row 2 Houses	052-321-26	0.00172	6,062.86	\$ 606.29
H 116	1116	Row 2 Houses	052-321-27	0.00172	6,062.86	\$ 606.29
H 117	1117	Row 2 Houses	052-321-28	0.00172	6,062.86	\$ 606.29
H 118	1118	Row 2 Houses	052-321-29	0.00172	6,062.86	\$ 606.29
H 119	1119	Row 2 Houses	052-321-30	0.00172	6,062.86	\$ 606.29
H 120	1120	Row 2 Houses	052-321-31	0.00172	6,062.86	\$ 606.29
H 121	1121	Row 2 Houses	052-321-32	0.00172	6,062.86	\$ 606.29
H 122	1122	Row 3,4 & 5 Houses	052-321-33	0.0009400	3,313.42	\$ 331.34
H 123	1123	Row 3,4 & 5 Houses	052-321-34	0.0009400	3,313.42	\$ 331.34
H 124	1124	Row 3,4 & 5 Houses	052-321-35	0.0009400	3,313.42	\$ 331.34
H 125	1125	Row 3,4 & 5 Houses	052-321-36	0.0009400	3,313.42	\$ 331.34
H 126	1126	Row 3,4 & 5 Houses	052-321-37	0.0009400	3,313.42	\$ 331.34
H 127	1127	Row 3,4 & 5 Houses	052-321-38	0.0009400	3,313.42	\$ 331.34
H 128	1128	Row 3,4 & 5 Houses	052-321-39	0.0009400	3,313.42	\$ 331.34
H 129	1129	Row 3,4 & 5 Houses	052-321-40	0.0009400	3,313.42	\$ 331.34
H 130	1130	Row 3,4 & 5 Houses	052-321-41	0.0009400	3,313.42	\$ 331.34
H 131	1131	Row 3,4 & 5 Houses	052-321-42	0.0009400	3,313.42	\$ 331.34
H 132	1132	Row 3,4 & 5 Houses	052-321-43	0.0009400	3,313.42	\$ 331.34
H 133	1133	Row 3,4 & 5 Houses	052-321-50	0.0009400	3,313.42	\$ 331.34
H 134	1134	Row 3,4 & 5 Houses	052-321-49	0.0009400	3,313.42	\$ 331.34

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 135	1135	Row 3,4 & 5 Houses	052-321-48	0.0009400	3,313.42	\$ 331.34
H 136	1136	Row 3,4 & 5 Houses	052-321-47	0.0009400	3,313.42	\$ 331.34
H 137	1137	Row 3,4 & 5 Houses	052-321-46	0.0009400	3,313.42	\$ 331.34
H 138	1138	Row 3,4 & 5 Houses	052-321-45	0.0009400	3,313.42	\$ 331.34
H 139	1139	Row 3,4 & 5 Houses	052-321-44	0.0009400	3,313.42	\$ 331.34
H 140	1140	Row 1 Houses	052-591-07	0.0085	29,961.82	\$ 2,996.18
H 141	1141	Row 1 Houses	052-591-08	0.00903	31,830.03	\$ 3,183.00
H 142	1142	Row 2 Houses	052-591-06	0.00172	6,062.86	\$ 606.29
H 143	1143	Row 2 Houses	052-591-05	0.00172	6,062.86	\$ 606.29
H 144	1144	Row 1 Houses	052-301-70	0.01712	60,346.63	\$ 6,034.66
H 145	1145	Row 1 Houses	052-301-69	0.00993	35,002.45	\$ 3,500.25
H 146	1146	Row 1 Houses	052-301-68	0.00977	34,438.47	\$ 3,443.85
H 147	1147	Row 3,4 & 5 Houses	052-301-62	0.0009400	3,313.42	\$ 331.34
H 148	1148	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 149	1149	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 150	1150	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 151	1151	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
P 1	2001	Pelican Point Condominiums	052-341-10	0.00117	4,124.16	\$ 412.42
P 2	2002	Pelican Point Condominiums	052-341-02	0.00117	4,124.16	\$ 412.42
P 3	2003	Pelican Point Condominiums	052-341-03	0.00117	4,124.16	\$ 412.42
P 4	2004	Pelican Point Condominiums	052-341-04	0.00117	4,124.16	\$ 412.42
P 5	2005	Pelican Point Condominiums	052-341-05	0.00117	4,124.16	\$ 412.42
P 6	2006	Pelican Point Condominiums	052-341-06	0.00117	4,124.16	\$ 412.42
P 7	2007	Pelican Point Condominiums	052-341-07	0.00117	4,124.16	\$ 412.42
P 8	2008	Pelican Point Condominiums	052-341-08	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 9	2009	Pelican Point Condominiums	052-341-09	0.00117	4,124.16	\$ 412.42
P 10	2010	Pelican Point Condominiums	052-352-01	0.00117	4,124.16	\$ 412.42
P 11	2011	Pelican Point Condominiums	052-352-02	0.00117	4,124.16	\$ 412.42
P 12	2012	Pelican Point Condominiums	052-352-03	0.00117	4,124.16	\$ 412.42
P 13	2013	Pelican Point Condominiums	052-352-04	0.00117	4,124.16	\$ 412.42
P 14	2014	Pelican Point Condominiums	052-362-01	0.00117	4,124.16	\$ 412.42
P 15	2015	Pelican Point Condominiums	052-362-02	0.00117	4,124.16	\$ 412.42
P 16	2016	Pelican Point Condominiums	052-362-03	0.00117	4,124.16	\$ 412.42
P 17	2017	Pelican Point Condominiums	052-362-04	0.00117	4,124.16	\$ 412.42
P 18	2018	Pelican Point Condominiums	052-362-05	0.00117	4,124.16	\$ 412.42
P 19	2019	Pelican Point Condominiums	052-362-06	0.00117	4,124.16	\$ 412.42
P 20	2020	Pelican Point Condominiums	052-362-07	0.00117	4,124.16	\$ 412.42
P 21	2021	Pelican Point Condominiums	052-342-01	0.00117	4,124.16	\$ 412.42
P 22	2022	Pelican Point Condominiums	052-342-02	0.00117	4,124.16	\$ 412.42
P 23	2023	Pelican Point Condominiums	052-342-03	0.00117	4,124.16	\$ 412.42
P 24	2024	Pelican Point Condominiums	052-342-04	0.00117	4,124.16	\$ 412.42
P 25	2025	Pelican Point Condominiums	052-343-01	0.00117	4,124.16	\$ 412.42
P 26	2026	Pelican Point Condominiums	052-343-02	0.00117	4,124.16	\$ 412.42
P 27	2027	Pelican Point Condominiums	052-343-03	0.00117	4,124.16	\$ 412.42
P 28	2028	Pelican Point Condominiums	052-343-05	0.00117	4,124.16	\$ 412.42
P 29	2029	Pelican Point Condominiums	052-343-06	0.00117	4,124.16	\$ 412.42
P 30	2030	Pelican Point Condominiums	052-343-07	0.00117	4,124.16	\$ 412.42
P 31	2031	Pelican Point Condominiums	052-343-08	0.00117	4,124.16	\$ 412.42
P 32	2032	Pelican Point Condominiums	052-343-09	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 33	2033	Pelican Point Condominiums	052-351-26	0.00117	4,124.16	\$ 412.42
P 34	2034	Pelican Point Condominiums	052-351-11	0.00117	4,124.16	\$ 412.42
P 35	2035	Pelican Point Condominiums	052-343-04	0.00117	4,124.16	\$ 412.42
P 36	2036	Pelican Point Condominiums	052-351-22	0.00117	4,124.16	\$ 412.42
P 37	2037	Pelican Point Condominiums	052-351-25	0.00117	4,124.16	\$ 412.42
P 38	2038	Pelican Point Condominiums	052-351-24	0.00117	4,124.16	\$ 412.42
P 39	2039	Pelican Point Condominiums	052-351-12	0.00117	4,124.16	\$ 412.42
P 40	2040	Pelican Point Condominiums	052-351-13	0.00117	4,124.16	\$ 412.42
P 41	2041	Pelican Point Condominiums	052-363-01	0.00117	4,124.16	\$ 412.42
P 42	2042	Pelican Point Condominiums	052-363-02	0.00117	4,124.16	\$ 412.42
P 43	2043	Pelican Point Condominiums	052-363-03	0.00117	4,124.16	\$ 412.42
P 44	2044	Pelican Point Condominiums	052-363-04	0.00117	4,124.16	\$ 412.42
P 45	2045	Pelican Point Condominiums	052-363-05	0.00117	4,124.16	\$ 412.42
P 46	2046	Pelican Point Condominiums	052-363-06	0.00117	4,124.16	\$ 412.42
P 47	2047	Pelican Point Condominiums	052-363-07	0.00117	4,124.16	\$ 412.42
P 48	2048	Pelican Point Condominiums	052-363-08	0.00117	4,124.16	\$ 412.42
P 49	2049	Pelican Point Condominiums	052-344-01	0.00117	4,124.16	\$ 412.42
P 50	2050	Pelican Point Condominiums	052-344-02	0.00117	4,124.16	\$ 412.42
P 51	2051	Pelican Point Condominiums	052-344-03	0.00117	4,124.16	\$ 412.42
P 52	2052	Pelican Point Condominiums	052-344-05	0.00117	4,124.16	\$ 412.42
P 53	2053	Pelican Point Condominiums	052-344-06	0.00117	4,124.16	\$ 412.42
P 54	2054	Pelican Point Condominiums	052-344-07	0.00117	4,124.16	\$ 412.42
P 55	2055	Pelican Point Condominiums	052-344-08	0.00117	4,124.16	\$ 412.42
P 56	2056	Pelican Point Condominiums	052-344-09	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 57	2057	Pelican Point Condominiums	052-353-01	0.00117	4,124.16	\$ 412.42
P 58	2058	Pelican Point Condominiums	052-353-02	0.00117	4,124.16	\$ 412.42
P 59	2059	Pelican Point Condominiums	052-344-04	0.00117	4,124.16	\$ 412.42
P 60	2060	Pelican Point Condominiums	052-353-03	0.00117	4,124.16	\$ 412.42
P 61	2061	Pelican Point Condominiums	052-353-04	0.00117	4,124.16	\$ 412.42
P 62	2062	Pelican Point Condominiums	052-353-05	0.00117	4,124.16	\$ 412.42
P 63	2063	Pelican Point Condominiums	052-535-06	0.00117	4,124.16	\$ 412.42
P 64	2064	Pelican Point Condominiums	052-353-07	0.00117	4,124.16	\$ 412.42
P 65	2065	Pelican Point Condominiums	052-361-27	0.00117	4,124.16	\$ 412.42
P 66	2066	Pelican Point Condominiums	052-361-28	0.00117	4,124.16	\$ 412.42
P 67	2067	Pelican Point Condominiums	052-361-15	0.00117	4,124.16	\$ 412.42
P 68	2068	Pelican Point Condominiums	052-361-16	0.00117	4,124.16	\$ 412.42
P 69	2069	Pelican Point Condominiums	052-361-17	0.00117	4,124.16	\$ 412.42
P 70	2070	Pelican Point Condominiums	052-361-18	0.00117	4,124.16	\$ 412.42
P 71	2071	Pelican Point Condominiums	052-361-19	0.00117	4,124.16	\$ 412.42
P 72	2072	Pelican Point Condominiums	052-361-20	0.00117	4,124.16	\$ 412.42
P 73	2073	Pelican Point Condominiums	052-345-01	0.00117	4,124.16	\$ 412.42
P 74	2074	Pelican Point Condominiums	052-345-02	0.00117	4,124.16	\$ 412.42
P 75	2075	Pelican Point Condominiums	052-345-03	0.00117	4,124.16	\$ 412.42
P 76	2076	Pelican Point Condominiums	052-345-04	0.00117	4,124.16	\$ 412.42
P 77	2077	Pelican Point Condominiums	052-354-01	0.00117	4,124.16	\$ 412.42
P 78	2078	Pelican Point Condominiums	052-354-02	0.00117	4,124.16	\$ 412.42
P 79	2079	Pelican Point Condominiums	052-354-03	0.00117	4,124.16	\$ 412.42
P 80	2080	Pelican Point Condominiums	052-354-04	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 81	2081	Pelican Point Condominiums	052-364-01	0.00117	4,124.16	\$ 412.42
P 82	2082	Pelican Point Condominiums	052-364-02	0.00117	4,124.16	\$ 412.42
P 83	2083	Pelican Point Condominiums	052-364-03	0.00117	4,124.16	\$ 412.42
P 84	2084	Pelican Point Condominiums	052-364-04	0.00117	4,124.16	\$ 412.42
P 85	2085	Pelican Point Condominiums	052-332-01	0.00117	4,124.16	\$ 412.42
P 86	2086	Pelican Point Condominiums	052-332-02	0.00117	4,124.16	\$ 412.42
P 87	2087	Pelican Point Condominiums	052-332-03	0.00117	4,124.16	\$ 412.42
CY 1	3001	Cypress Grove Townhomes	052-301-49	0.00515	18,146.29	\$ 1,814.63
CY 2	3002	Cypress Grove Townhomes	052-301-48	0.00515	18,146.29	\$ 1,814.63
CY 3	3003	Cypress Grove Townhomes	052-301-47	0.00515	18,146.29	\$ 1,814.63
CY 4	3004	Cypress Grove Townhomes	052-301-46	0.00515	18,146.29	\$ 1,814.63
CY 5	3005	Cypress Grove Townhomes	052-301-45	0.00515	18,146.29	\$ 1,814.63
CY 6	3006	Cypress Grove Townhomes	052-301-44	0.00515	18,146.29	\$ 1,814.63
CY 7	3007	Cypress Grove Townhomes	052-301-43	0.00515	18,146.29	\$ 1,814.63
CY 8	3008	Cypress Grove Townhomes	052-301-42	0.00515	18,146.29	\$ 1,814.63
CY 9	3009	Cypress Grove Townhomes	052-301-41	0.00515	18,146.29	\$ 1,814.63
CY 10	3010	Cypress Grove Townhomes	052-301-40	0.00515	18,146.29	\$ 1,814.63
CY 11	3011	Cypress Grove Townhomes	052-301-38	0.00515	18,146.29	\$ 1,814.63
CY 12	3012	Cypress Grove Townhomes	052-301-37	0.00515	18,146.29	\$ 1,814.63
CY 13	3013	Cypress Grove Townhomes	052-301-36	0.00515	18,146.29	\$ 1,814.63
CY 14	3014	Cypress Grove Townhomes	052-301-31	0.00515	18,146.29	\$ 1,814.63
CY 15	3015	Cypress Grove Townhomes	052-301-30	0.00515	18,146.29	\$ 1,814.63
CY 16	3016	Cypress Grove Townhomes	052-301-29	0.00515	18,146.29	\$ 1,814.63
CY 17	3017	Cypress Grove Townhomes	052-301-28	0.00515	18,146.29	\$ 1,814.63

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
CY 18	3018	Cypress Grove Townhomes	052-301-34	0.00515	18,146.29	\$ 1,814.63
CY 19	3019	Cypress Grove Townhomes	052-301-33	0.00515	18,146.29	\$ 1,814.63
CY 20	3020	Cypress Grove Townhomes	052-301-26	0.00515	18,146.29	\$ 1,814.63
CY 21	3021	Cypress Grove Townhomes	052-301-25	0.00515	18,146.29	\$ 1,814.63
CY 22	3022	Cypress Grove Townhomes	052-301-24	0.00515	18,146.29	\$ 1,814.63
CY 23	3023	Cypress Grove Townhomes	052-301-23	0.00515	18,146.29	\$ 1,814.63
H	H	PDA Stairs	Common area pay direct to PDGHAD	0.02531	89,201.62	\$ 8,920.16
<b>Total Collected/year*</b>					<b>\$3,525,307.49</b>	<b>\$352,530.75</b>
<p>(1) Assessments are subject to a 1% County Collection Fee in addition to the listed amounts. Table values provided by PDGHAD.  (2) Rounding errors lead to a ~\$378.89 difference and is the responsibility of the PDGHAD.</p>						

**Table 3. Proportional Benefit and Maximum Assessment by Benefit Category**

Category	Proportional Benefit	Assessment Amount	No. of Units
<b>Zone 1</b>			
Row 1 Houses	64.133%	\$2,260,637	67
Row 2 Houses	7.545%	\$265,955	44
Row 3,4 & 5 Houses	3.772%	\$132,960	40
Cypress Grove Townhomes	11.8400%	\$417,350	23
Pelican Point Condominiums	10.180%	\$358,837	87
PDA Stairs	2.531%	\$89,202	1
<b>Zone 1 Total:</b>	<b>100.0%</b>	<b>\$3,524,920</b>	<b>262</b>
Table 2 -Proposed Assessment and Fiscal Years 2024/2025 to 2033/2034 GHAD Budget by Benefit Categories. Table values provided by PDGHAD.			

## **5. Parcels Map & Revetment Project Plan**

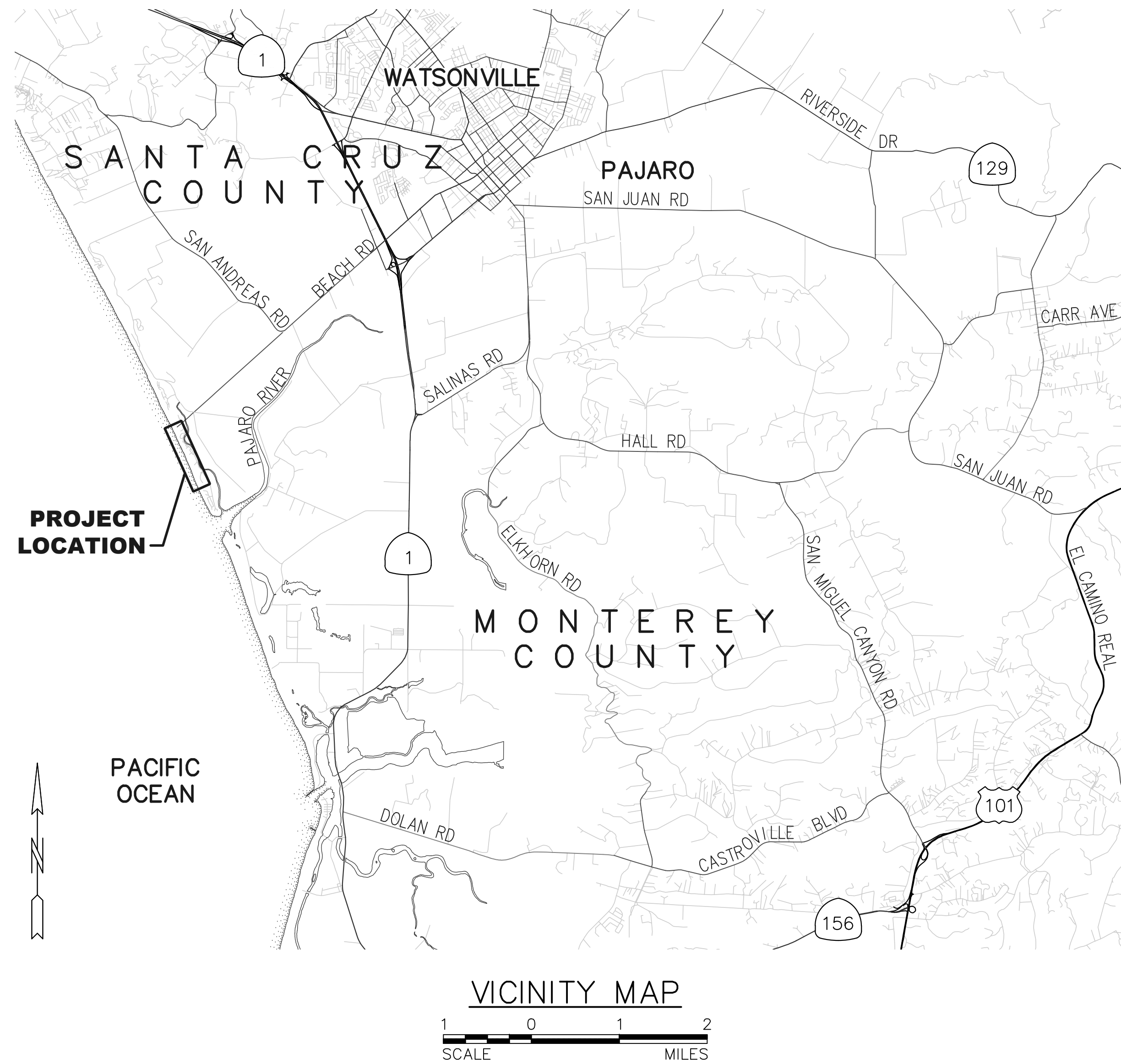
Stamped and County reviewed Rock Revetment Project Plans (Appendix A), which outline the proposed work location and approach. All the parcels of real property within this assessment district, including the major groups, Houses, Pelican Point Condominiums, and Cypress Grove Townhouses, are presented in the attached Rock Revetment Project Plans (Appendix A).

**APPENDIX A**  
**Rock Revetment Project Plans**

# PAJARO DUNES GHAD

## ROCK REVETMENT MAINTENANCE LOTS 1-12, 15, 54-55, 94-103, AND 107 PAJARO DUNES RESORT WATSONVILLE, CALIFORNIA

**AUGUST 2023**



### GENERAL NOTES

#### 1. STANDARD SPECIFICATIONS

ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS, 2018 EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

#### 2. PERMITS

THE OWNER WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

#### 3. TRAFFIC CONTROL AND PUBLIC SAFETY

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGGING, AND OTHER DEVICES NECESSARY FOR TRAFFIC CONTROL AND PUBLIC SAFETY.

#### 4. EXISTING FACILITIES

EXISTING SITE IMPROVEMENTS TO REMAIN MAY INTERFERE WITH THE WORK. THESE FACILITIES SHALL BE PROTECTED OR REMOVED AND REPLACED WITH LIKE KIND AND QUALITY AT THE CONTRACTOR'S EXPENSE.

#### 5. SITE INFORMATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND FACILITIES WHICH MAY BE AFFECTED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONTACT OWNERS OF THESE FACILITIES AND SHALL PROTECT FACILITIES AND MAINTAIN SERVICE DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 AT LEAST THREE WORKING DAYS PRIOR TO CONSTRUCTION.

DIMENSIONS AND LIMITS OF WORK SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BASED ON CONDITIONS ENCOUNTERED. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

#### 6. INSPECTIONS

ENGINEERING INSPECTIONS WILL BE CARRIED OUT BY CAL ENGINEERING & GEOLOGY, INC. (925) 935-9771. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO ALL REQUIRED INSPECTIONS.

#### 7. STAGING RESTORATION

STAGING AREAS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION. CONTRACTOR SHALL DOCUMENT THE PRE-CONSTRUCTION CONDITION OF ALL STAGING AREAS AND ACCESS ROUTES PRIOR TO CONSTRUCTION. PAVEMENT AREAS SHALL BE RESTORED BY REMOVING AND REPLACING THE DAMAGED PAVEMENT WITH 3" AC (TYPE A) OVER 6" CLASS 2 AB AS DIRECTED BY THE ENGINEER.

#### 8. TOTAL ROCK

PLANNED TOTAL ROCK MATERIAL TO POTENTIALLY BE MOVED FOR THE PROJECT EQUALS 1,135 TONS OR 841 CUBIC YARDS (ASSUMING 2700 LBS PER CUBIC YARD). SEE SHEET 2 FOR SOURCE DETAILS.

### DESCRIPTION OF WORK

THE WORK SHALL CONSIST IN GENERAL OF PROVIDING ALL MATERIAL, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE REVETMENT MAINTENANCE PROJECT. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOBILIZATION, WATER POLLUTION CONTROL, TRAFFIC CONTROL, ESTABLISHING SITE ACCESS AND STAGING AREAS, CLEARING AND GRUBBING, EXCAVATION SHORING AS REQUIRED, TEMPORARY EXCAVATION AND BACKFILL IN SAND, AND RELOCATING AND STACKING EXISTING BURIED REVETMENT ROCKS.

### CONTRACTOR LICENSE

THE CONTRACTOR SHALL POSSESS A VALID CLASS A LICENSE AT THE TIME THE CONTRACT IS AWARDED.

### INDEX OF SHEETS

1. TITLE SHEET
2. TYPICAL SECTION
3. PROJECT CONTROL
4. SITE ACCESS AND STAGING AREAS
- 5.-9. SITE PLAN
- 10.-16. SECTIONS


### STANDARD PLANS

THE FOLLOWING STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD PLANS, 2010 EDITION, APPLY:

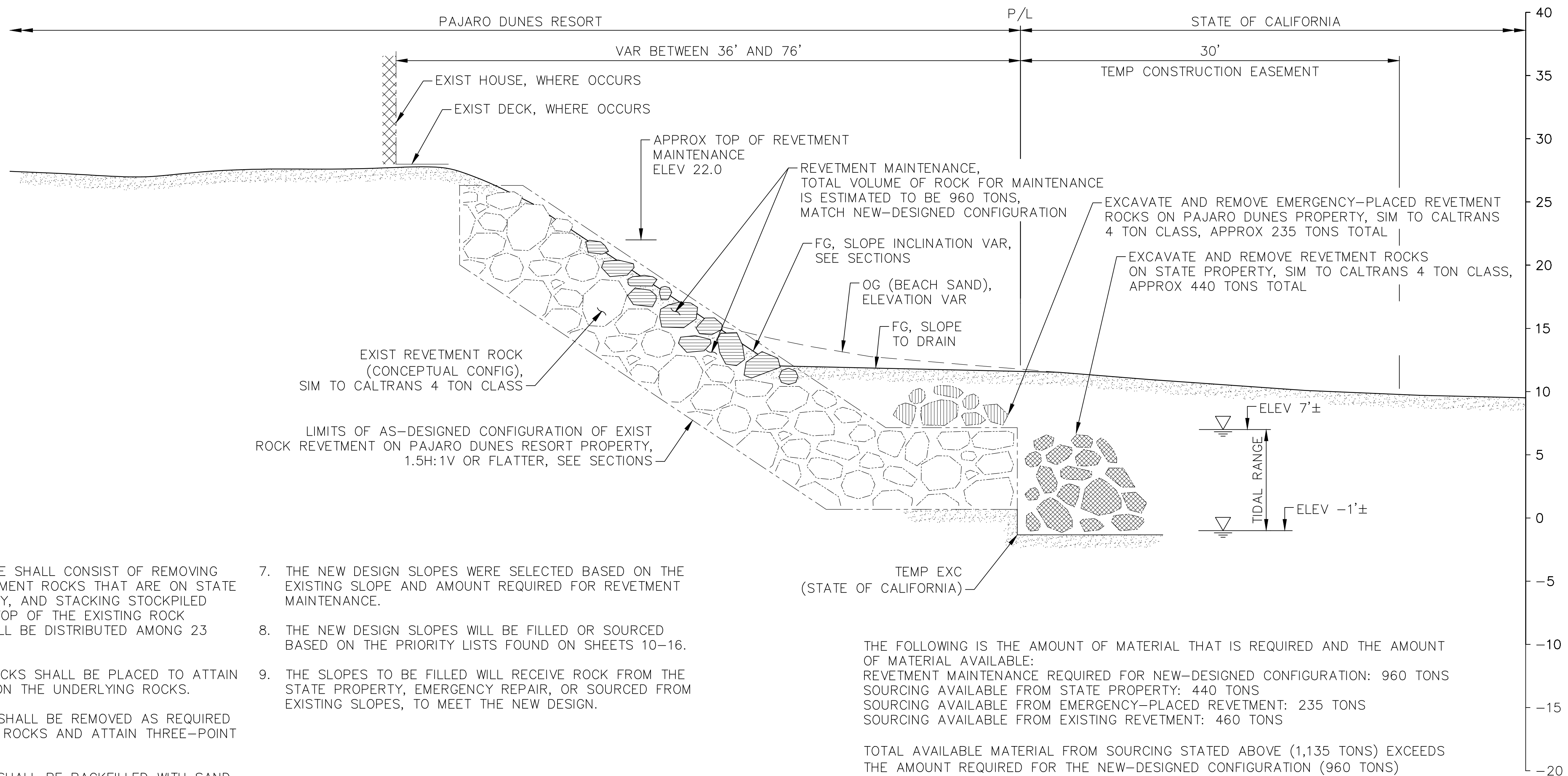
- A10A ABBREVIATIONS (SHEET 1 OF 2)
- A10B ABBREVIATIONS (SHEET 2 OF 2)
- A10C LINES AND SYMBOLS (SHEET 1 OF 3)
- A10D LINES AND SYMBOLS (SHEET 2 OF 3)
- A10E LINES AND SYMBOLS (SHEET 3 OF 3)



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

 A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
				ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA <b>TITLE SHEET</b>	
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 1 OF 16

\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\02-TYPICAL-SECTION.dwg 8-29-23 12:26:35 PM crodil



**NOTES**

1. REVETMENT MAINTENANCE SHALL CONSIST OF REMOVING AND STOCKPILING REVETMENT ROCKS THAT ARE ON STATE OF CALIFORNIA PROPERTY, AND STACKING STOCKPILED REVETMENT ROCKS ON TOP OF THE EXISTING ROCK REVETMENT. ROCKS SHALL BE DISTRIBUTED AMONG 23 PARCELS.
2. STACKED REVETMENT ROCKS SHALL BE PLACED TO ATTAIN THREE-POINT BEARING ON THE UNDERLYING ROCKS.
3. VEGETATION AND SAND SHALL BE REMOVED AS REQUIRED TO EXPOSE UNDERLYING ROCKS AND ATTAIN THREE-POINT BEARING PLACEMENT.
4. VOIDS BETWEEN ROCKS SHALL BE BACKFILLED WITH SAND TO THE FINISHED GRADE LINES SHOWN.
5. SHOP DRAWINGS AND CALCULATIONS FOR CONTRACTOR-DESIGNED SHORING SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A PROFESSIONAL CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA. THE SHOP DRAWINGS SHOULD DESCRIBE HOW THE SHORING WILL PROTECT THE EXISTING REVETMENT DURING SAND EXCAVATION.
6. NEW REVETMENT DESIGN SLOPES FOUND IN CROSS-SECTIONS (SHEETS 10-16) ARE BASED OFF OF THE ORIGINAL DESIGN BY ROGERS E. JOHNSON & ASSOCIATES (1986) AND THE EMERGENCY REPAIR BY HARO, KASUNICH & ASSOCIATES (2003). SEE ATTACHED DOCUMENTS.
7. THE NEW DESIGN SLOPES WERE SELECTED BASED ON THE EXISTING SLOPE AND AMOUNT REQUIRED FOR REVETMENT MAINTENANCE.
8. THE NEW DESIGN SLOPES WILL BE FILLED OR SOURCED BASED ON THE PRIORITY LISTS FOUND ON SHEETS 10-16.
9. THE SLOPES TO BE FILLED WILL RECEIVE ROCK FROM THE STATE PROPERTY, EMERGENCY REPAIR, OR SOURCED FROM EXISTING SLOPES, TO MEET THE NEW DESIGN.

THE FOLLOWING IS THE AMOUNT OF MATERIAL THAT IS REQUIRED AND THE AMOUNT OF MATERIAL AVAILABLE:  
 REVETMENT MAINTENANCE REQUIRED FOR NEW-DESIGNED CONFIGURATION: 960 TONS  
 SOURCING AVAILABLE FROM STATE PROPERTY: 440 TONS  
 SOURCING AVAILABLE FROM EMERGENCY-PLACED REVETMENT: 235 TONS  
 SOURCING AVAILABLE FROM EXISTING REVETMENT: 460 TONS  
 TOTAL AVAILABLE MATERIAL FROM SOURCING STATED ABOVE (1,135 TONS) EXCEEDS THE AMOUNT REQUIRED FOR THE NEW-DESIGNED CONFIGURATION (960 TONS)

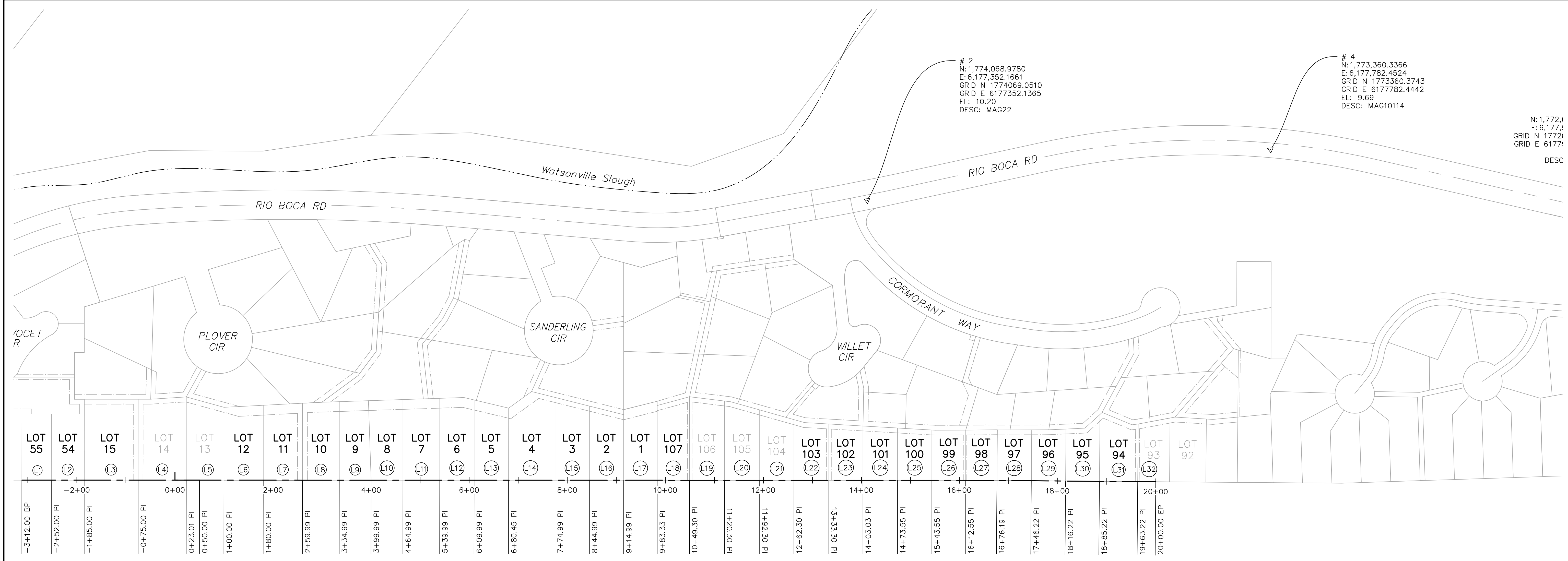


**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



<b>CE&amp;G</b> A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
				ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA TYPICAL SECTION	
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 2 OF 16

\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\03-PROJECT-CONTROL.dwg 8-29-23 12:26:48 PM crodli



# 2  
 N: 1,774,068.9780  
 E: 6,177,352.1661  
 GRID N 1774069.0510  
 GRID E 6177352.1365  
 EL: 10.20  
 DESC: MAG22

# 4  
 N: 1,773,360.3366  
 E: 6,177,782.4524  
 GRID N 1773360.3743  
 GRID E 6177782.4442  
 EL: 9.69  
 DESC: MAG10114

N: 1,772,1  
 E: 6,177,1  
 GRID N 17721  
 GRID E 61771  
 DESC

LOT	STATIONING	PI
LOT 55	-3+12.00	BP
LOT 54	-2+52.00	PI
LOT 15	-1+85.00	PI
LOT 14	-0+75.00	PI
LOT 13	0+23.01	PI
LOT 13	0+50.00	PI
LOT 12	1+00.00	PI
LOT 11	1+80.00	PI
LOT 10	2+59.99	PI
LOT 9	3+34.99	PI
LOT 8	3+99.99	PI
LOT 7	4+64.99	PI
LOT 6	5+39.99	PI
LOT 5	6+09.99	PI
LOT 4	6+80.45	PI
LOT 3	7+74.99	PI
LOT 2	8+44.99	PI
LOT 1	9+14.99	PI
LOT 107	9+83.33	PI
LOT 106	10+49.30	PI
LOT 105	11+20.30	PI
LOT 104	11+05.26+11	PI
LOT 103	12+62.30	PI
LOT 102	13+33.30	PI
LOT 101	14+03.03	PI
LOT 100	14+73.55	PI
LOT 99	15+43.55	PI
LOT 98	16+12.55	PI
LOT 97	16+76.19	PI
LOT 96	17+46.22	PI
LOT 95	18+16.22	PI
LOT 94	18+85.22	PI
LOT 93	19+63.22	PI
LOT 92	20+00.00	EP

SEGMENT	LENGTH	BEARING	START STATION	START NORTHING	START EASTING
L1	60.00'	S24°05'08"E	-3+12.00	1775409.28	6176127.69
L2	67.00'	S24°05'08"E	-2+52.00	1775354.50	6176152.18
L3	110.00'	S24°05'08"E	-1+85.00	1775293.33	6176179.52
L4	98.01'	S24°05'08"E	-0+75.00	1775192.91	6176224.41
L5	50.00'	S24°05'08"E	0+50.00	1775078.79	6176275.42
L6	80.00'	S24°05'08"E	1+00.00	1775033.14	6176295.83
L7	79.99'	S24°05'08"E	1+80.00	1774960.10	6176328.48
L8	75.00'	S24°05'08"E	2+59.99	1774887.08	6176361.12
L9	65.00'	S24°05'08"E	3+34.99	1774818.61	6176391.73
L10	65.00'	S24°05'08"E	3+99.99	1774759.26	6176418.26
L11	75.00'	S24°05'08"E	4+64.99	1774699.92	6176444.78
L12	70.00'	S24°05'08"E	5+39.99	1774631.45	6176475.39
L13	70.46'	S24°05'08"E	6+09.99	1774567.55	6176503.96
L14	94.54'	S24°05'08"E	6+80.45	1774503.22	6176532.71
L15	70.00'	S24°05'08"E	7+74.99	1774416.91	6176571.29
L16	70.00'	S24°05'08"E	8+44.99	1774353.01	6176599.86

SEGMENT	LENGTH	BEARING	START STATION	START NORTHING	START EASTING
L17	68.34'	S24°05'08"E	9+14.99	1774289.10	6176628.43
L18	65.97'	S24°01'29"E	9+83.33	1774226.71	6176656.32
L19	71.00'	S24°05'59"E	10+49.30	1774166.46	6176683.18
L20	72.00'	S24°07'38"E	11+20.30	1774101.65	6176712.17
L21	70.00'	S24°03'31"E	11+92.30	1774035.94	6176741.60
L22	71.00'	S24°06'43"E	12+62.30	1773972.02	6176770.13
L23	69.73'	S24°05'08"E	13+33.30	1773907.21	6176799.14
L24	70.52'	S24°05'08"E	14+03.03	1773843.55	6176827.60
L25	70.00'	S24°05'08"E	14+73.55	1773779.17	6176856.38
L26	69.00'	S24°05'08"E	15+43.55	1773715.27	6176884.94
L27	63.64'	S23°40'04"E	16+12.55	1773652.27	6176913.10
L28	70.02'	S23°40'04"E	16+76.19	1773593.99	6176938.65
L29	70.00'	S23°39'18"E	17+46.22	1773529.85	6176966.76
L30	69.00'	S23°39'18"E	18+16.22	1773465.74	6176994.84
L31	78.00'	S23°39'18"E	18+85.22	1773402.53	6177022.53
L32	36.78'	S23°39'18"E	19+63.22	1773331.09	6177053.82

**LEGEND**  
 Δ BENCHMARK  
 — PROPERTY LINE  
 - - - EASEMENT

**UAV DATA REFERENCE**  
 1. CONTOURS CALCULATED FROM PHOTOGRAMMETRICALLY-DERIVED DIGITAL ELEVATION MODEL, UAV FLIGHT PERFORMED ON 18 NOVEMBER 2019.  
 2. HIGH RESOLUTION ORTHOIMAGERY CAPTURED BY CE&G ON 18 NOVEMBER 2019.  
 HORIZONTAL DATUM: COORDINATES ARE APPROXIMATE TO NAD83 CALIFORNIA ZONE 3 VALUES.  
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



**100% SUBMITTAL  
 NOT FOR CONSTRUCTION  
 AUGUST 2023**

 A division of Haley & Aldrich	785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA PROJECT CONTROL	
	DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780
			SHEET NO. 3	OF 16

\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-0&M\AutoCAD - Plan Set\Sheets\04-SITE-ACCESS-STAGING.dwg 8-29-23 12:27:19 PM crodli



**NOTES**

1. VEHICULAR ACCESS TO THE BEACH SHALL BE LIMITED TO THE PRIMARY AND SECONDARY VEHICULAR ACCESS ROUTES SHOWN. BEACH ACCESS FROM THE PARKING AREAS ALONG RIO BOCA ROAD SHALL BE LIMITED TO PEDESTRIANS ONLY.

**LEGEND**

- SITE ACCESS
- POTENTIAL STAGING AREA (PARKING LOT), PEDESTRIAN ACCESS ONLY
- POTENTIAL STAGING AREA (UNDEVELOPED)

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

**TEMPORARY CONSTRUCTION EASEMENT**

POINT TABLE		
#	NORTHING	EASTING
#1	1773297.39	6177068.58
#2	1773285.36	6177041.10
#3	1775020.90	6176268.44
#4	1775024.98	6176277.57
#5	1777588.94	6175128.90
#6	1777600.92	6175145.45

**BASEMAP REFERENCE**

1. ORTHOIMAGERY FROM SANTA CRUZ COUNTY, 2016.

**CE&G**  
A division of Haley & Aldrich

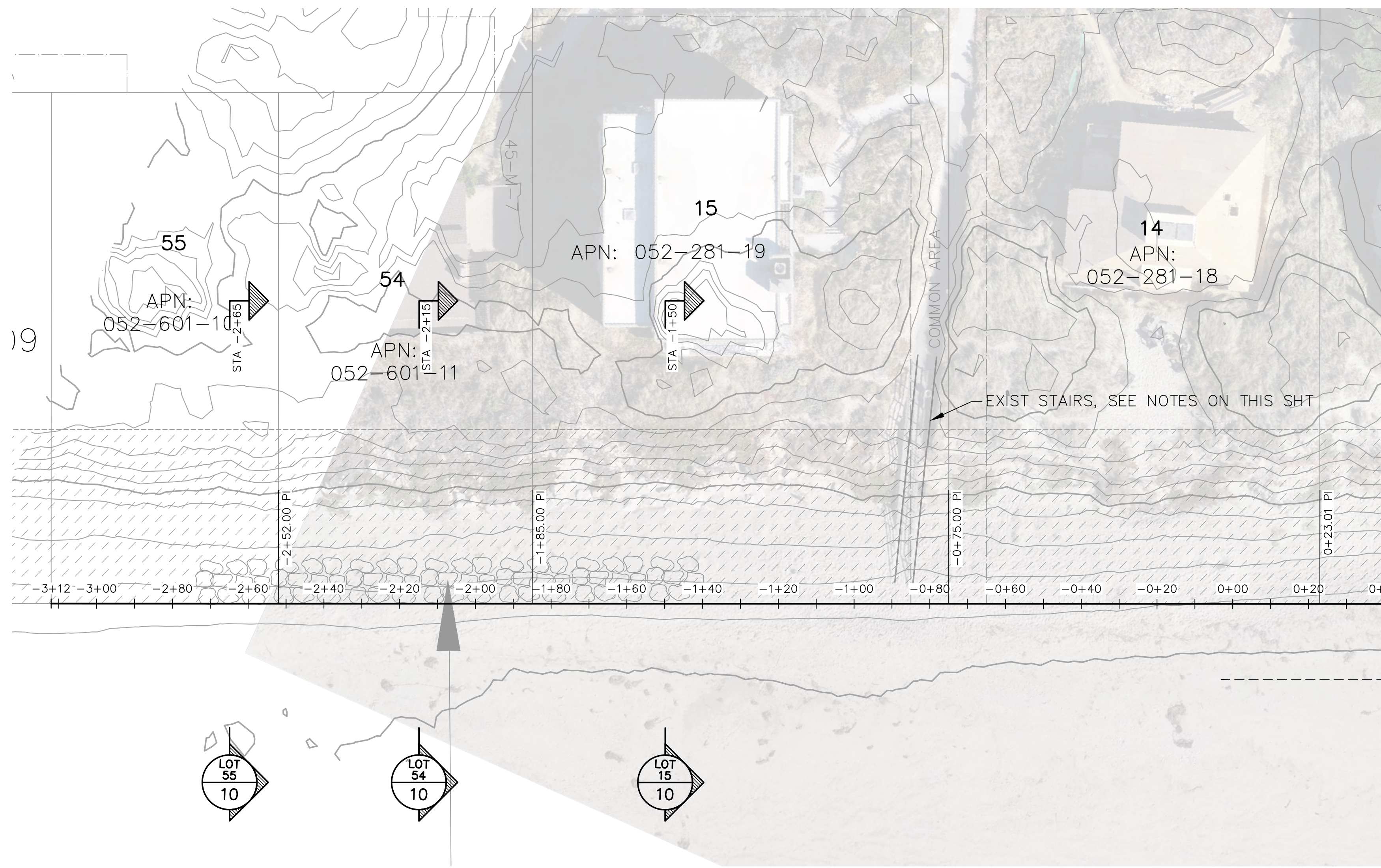
785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SITE ACCESS AND STAGING AREA

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 4 OF 16
------------------------	-----------------------	----------------------	-----------------------	-------------------------	-------------------------

\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:27:39 PM crodill



MATCH LINE STA 0+40, SEE SHEET 6

**NOTES**

1. THE REVETMENT MAINTENANCE SHALL EXTEND BELOW THE EXISTING STAIRS.
2. THE CONTRACTOR MAY ELECT TO REMOVE PORTIONS OF STAIRS BEFORE CONSTRUCTION. STAIRS REMOVED BEFORE CONSTRUCTION OR STAIRS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND WITH NEW MATERIALS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR THE PORTIONS OF THE STAIRS THAT ARE REPAIRED OR REPLACED. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

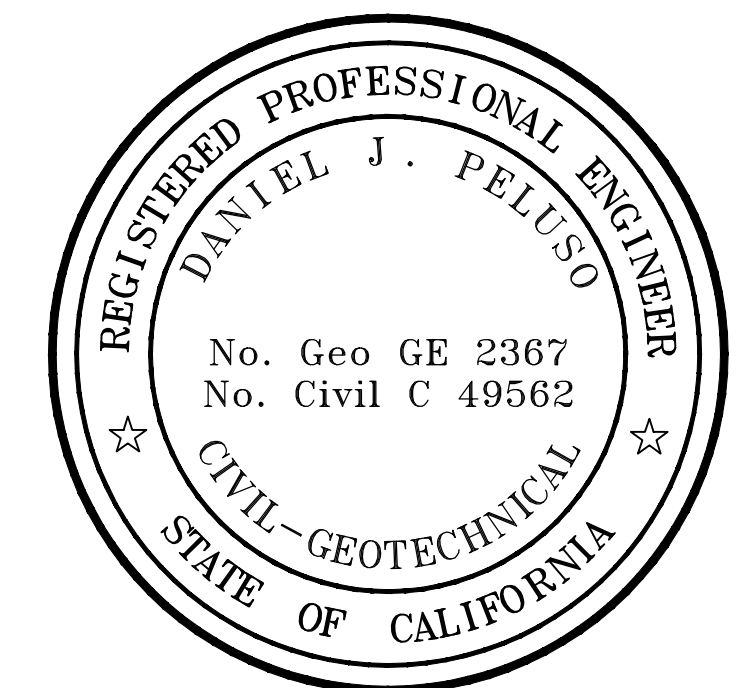
**NEW STAIR MATERIALS**

1. STRUCTURAL TIMBER AND LUMBER SHALL BE BROWN PRESSURE-TREATED DOUGLAS FIR NO. 1 OR BETTER.
2. BOLTS SHALL BE ASTM A307 GRADE A. NUTS SHALL BE AMERICAN STANDARD HEAVY, SEMI-FINISHED HEXAGON TAPPED, UNC THREAD SERIES, CLASS 2B. WASHERS SHALL BE OVERSIZED. ALL PARTS SHALL BE HOT-DIP GALVANIZED PER ASTM A153 CLASS C.
3. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/32" AND NO MORE THAN A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
4. ALL NAILS SHALL BE 16d HOT-DIP GALVANIZED. PNEUMATIC NAILING SHALL NOT BE PERMITTED.
5. ALL HARDWARE SHALL BE GALVANIZED AND SHALL MEET ASTM A653 BY THE HOT-DIP PROCESS, G-185 COATING.

**EMERGENCY-PLACED ROCK**

THE KNOWN LOCATIONS OF THE BURIED EMERGENCY-PLACED ROCK ARE IN THE FOLLOWINGS LOCATIONS:

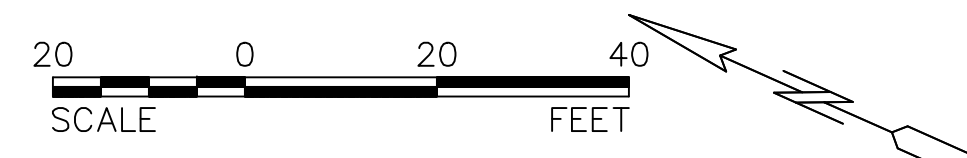
1. ON STATE PARKS PROPERTY IN FRONT OF THE REVETMENT TOE ADJACENT TO LOTS 98, 99, 100, AND 103. TOTAL OF APPROX 440 TONS.
2. ON PAJARO DUNES PROPERTY OVERLYING THE ROCK REVETMENT TOE ON LOTS 15, 54, 55, 103, AND 104. TOTAL OF APPROX 235 TONS.



**LEGEND**

- REVETMENT MAINTENANCE
- EXISTING RSP
- EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



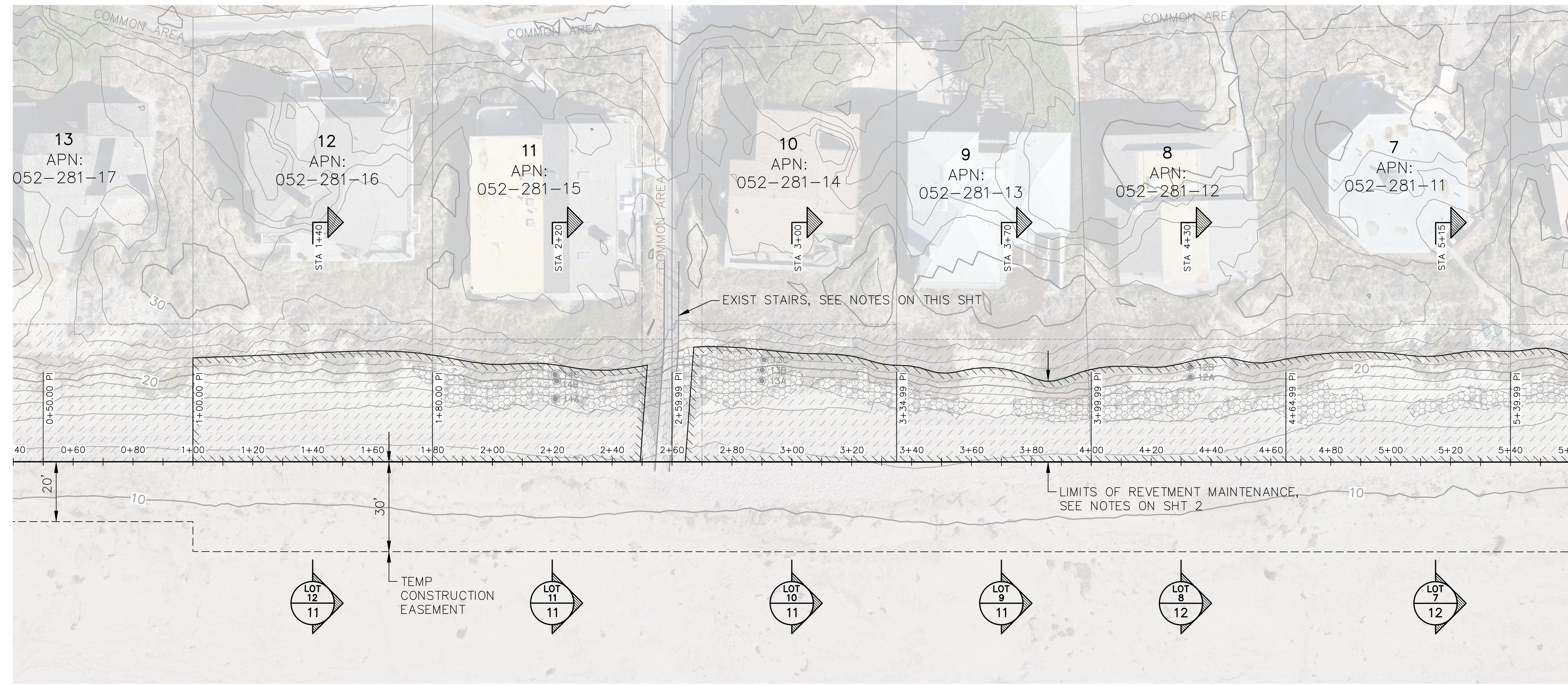
NO.	REVISION DESCRIPTION	INI	M/D/YEAR

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (1 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. 5	OF 16

\\holtyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:27:59 PM crodli



MATCH LINE STA 0+40, SEE SHEET 5

MATCH LINE STA 5+60, SEE SHEET 7

**NOTES**

1. THE REVETMENT MAINTENANCE SHALL EXTEND BELOW THE EXISTING STAIRS.
2. THE CONTRACTOR MAY ELECT TO REMOVE PORTIONS OF STAIRS BEFORE CONSTRUCTION. STAIRS REMOVED BEFORE CONSTRUCTION OR STAIRS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND WITH NEW MATERIALS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR THE PORTIONS OF THE STAIRS THAT ARE REPAIRED OR REPLACED. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

**NEW STAIR MATERIALS**

1. STRUCTURAL TIMBER AND LUMBER SHALL BE BROWN PRESSURE-TREATED DOUGLAS FIR NO. 1 OR BETTER.
2. BOLTS SHALL BE ASTM A307 GRADE A. NUTS SHALL BE AMERICAN STANDARD HEAVY, SEMI-FINISHED HEXAGON TAPPED, UNC THREAD SERIES, CLASS 2B. WASHERS SHALL BE OVERSIZED. ALL PARTS SHALL BE HOT-DIP GALVANIZED PER ASTM A153 CLASS C.
3. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/32" AND NO MORE THAN A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
4. ALL NAILS SHALL BE 16d HOT-DIP GALVANIZED. PNEUMATIC NAILING SHALL NOT BE PERMITTED.
5. ALL HARDWARE SHALL BE GALVANIZED AND SHALL MEET ASTM A653 BY THE HOT-DIP PROCESS, G-185 COATING.

**EMERGENCY-PLACED ROCK**

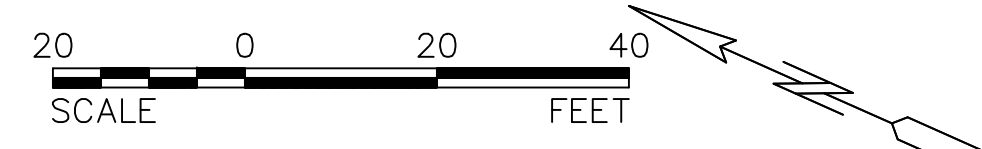
- THE KNOWN LOCATIONS OF THE BURIED EMERGENCY-PLACED ROCK ARE IN THE FOLLOWINGS LOCATIONS:
1. ON STATE PARKS PROPERTY IN FRONT OF THE REVETMENT TOE ADJACENT TO LOTS 98, 99, 100, AND 103. TOTAL OF APPROX 440 TONS.
  2. ON PAJARO DUNES PROPERTY OVERLYING THE ROCK REVETMENT TOE ON LOTS 15, 54, 55, 103, AND 104. TOTAL OF APPROX 235 TONS.



**LEGEND**

	REVETMENT MAINTENANCE
	EXISTING RSP
	EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

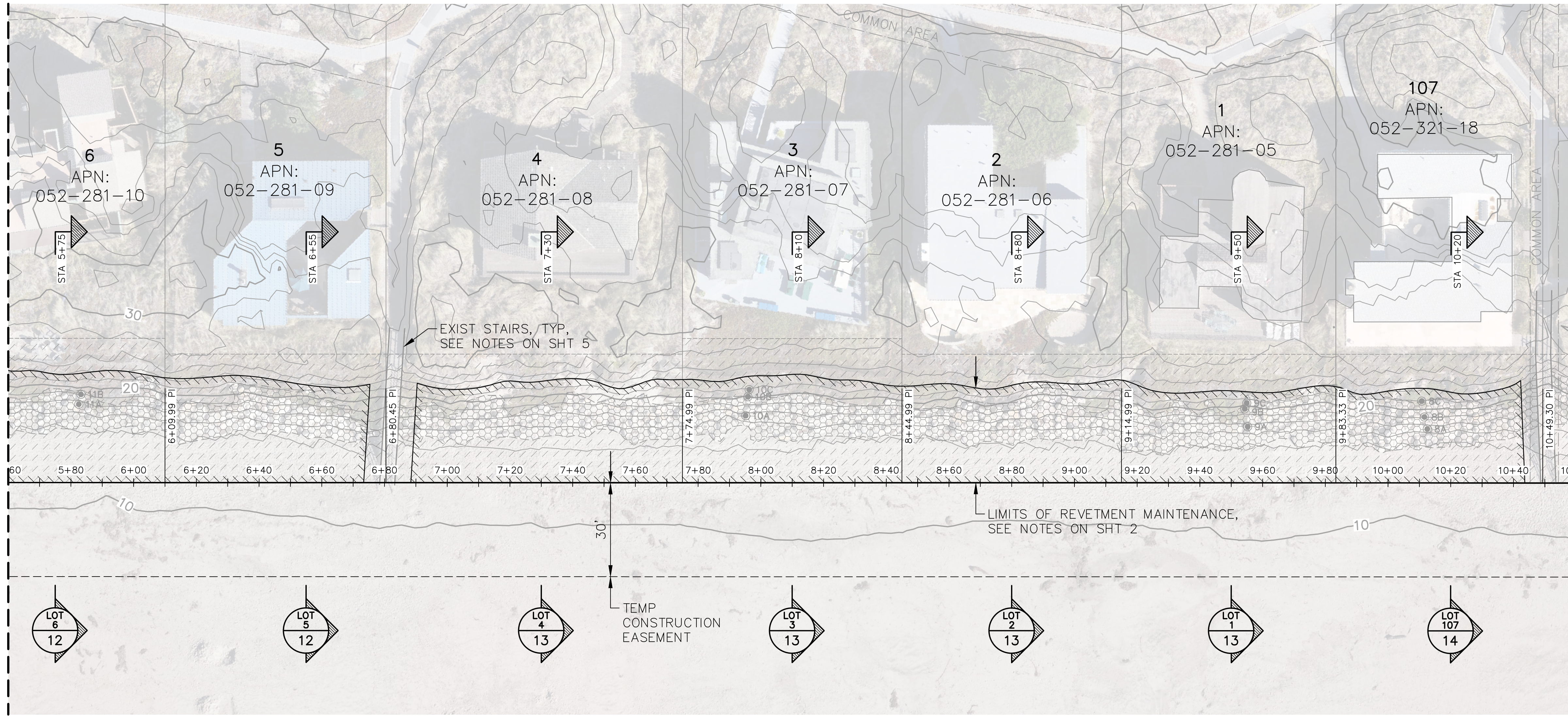
785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED <b>C. HOCKETT</b>	DRAWN <b>K. DROZYNSKA</b>	CHECKED <b>D. PELUSO</b>
-------------------------------	------------------------------	-----------------------------

<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (2 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. 6	OF 16

\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:28:18 PM crodl

MATCH LINE STA 5+60, SEE SHEET 6

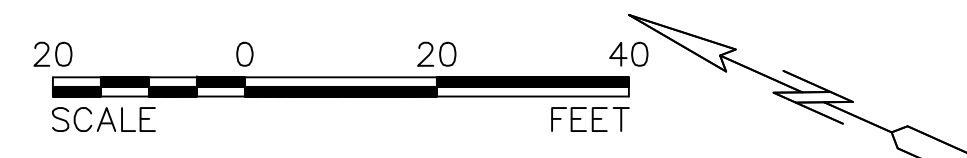


MATCH LINE STA 10+60, SEE SHEET 8

**LEGEND**

- REVETMENT MAINTENANCE
- EXISTING RSP
- EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SITE PLAN (3 OF 5)

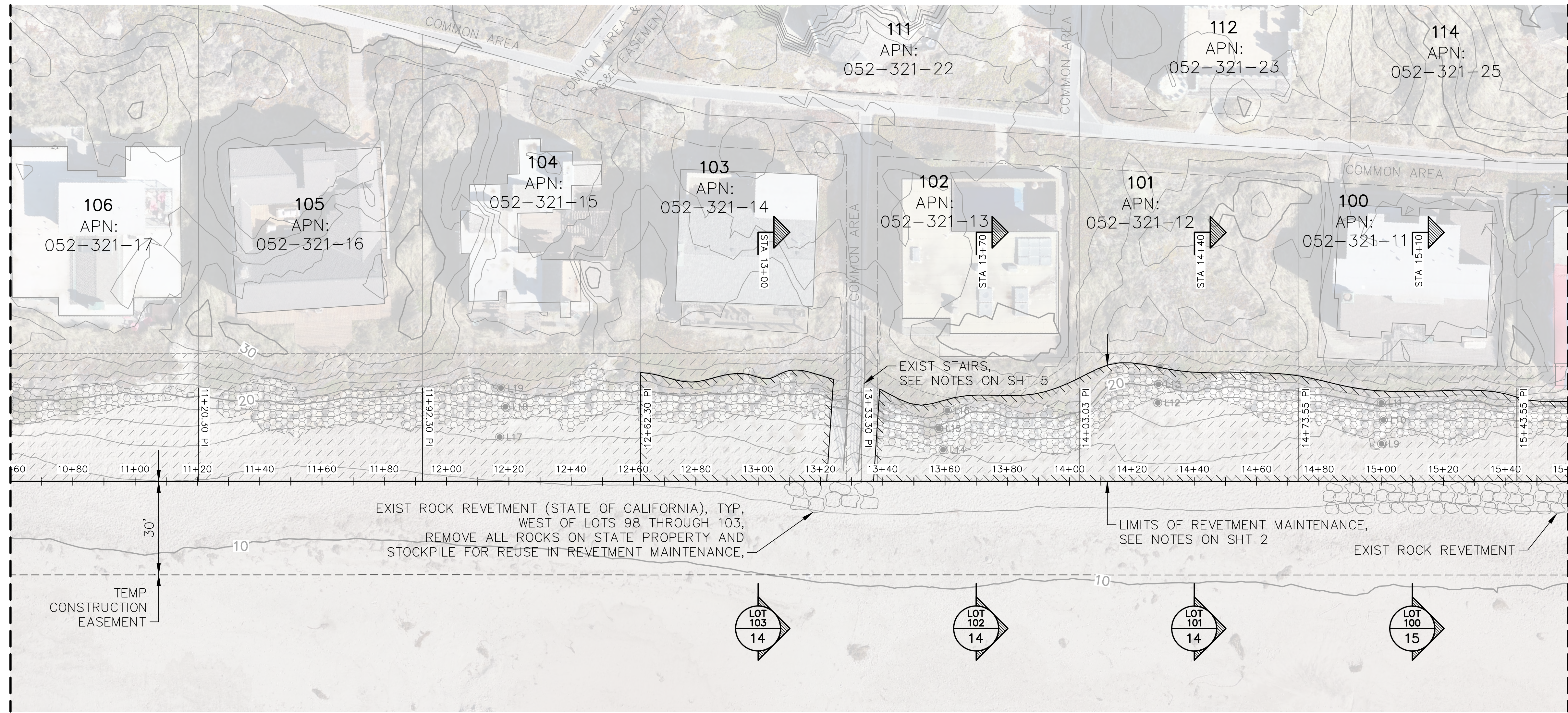
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 7 OF 16
-----------------------	-------------------------	-------------------------



\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:28:36 PM crodil

MATCH LINE STA 10+60, SEE SHEET 7

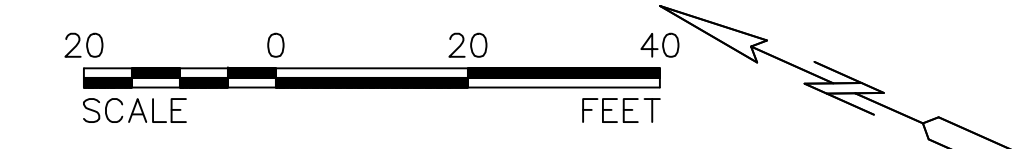
MATCH LINE STA 15+60, SEE SHEET 9



**LEGEND**

	REVETMENT MAINTENANCE
	EXISTING RSP
	EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	BY	DATE

**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

**PAJARO DUNES GHAD**

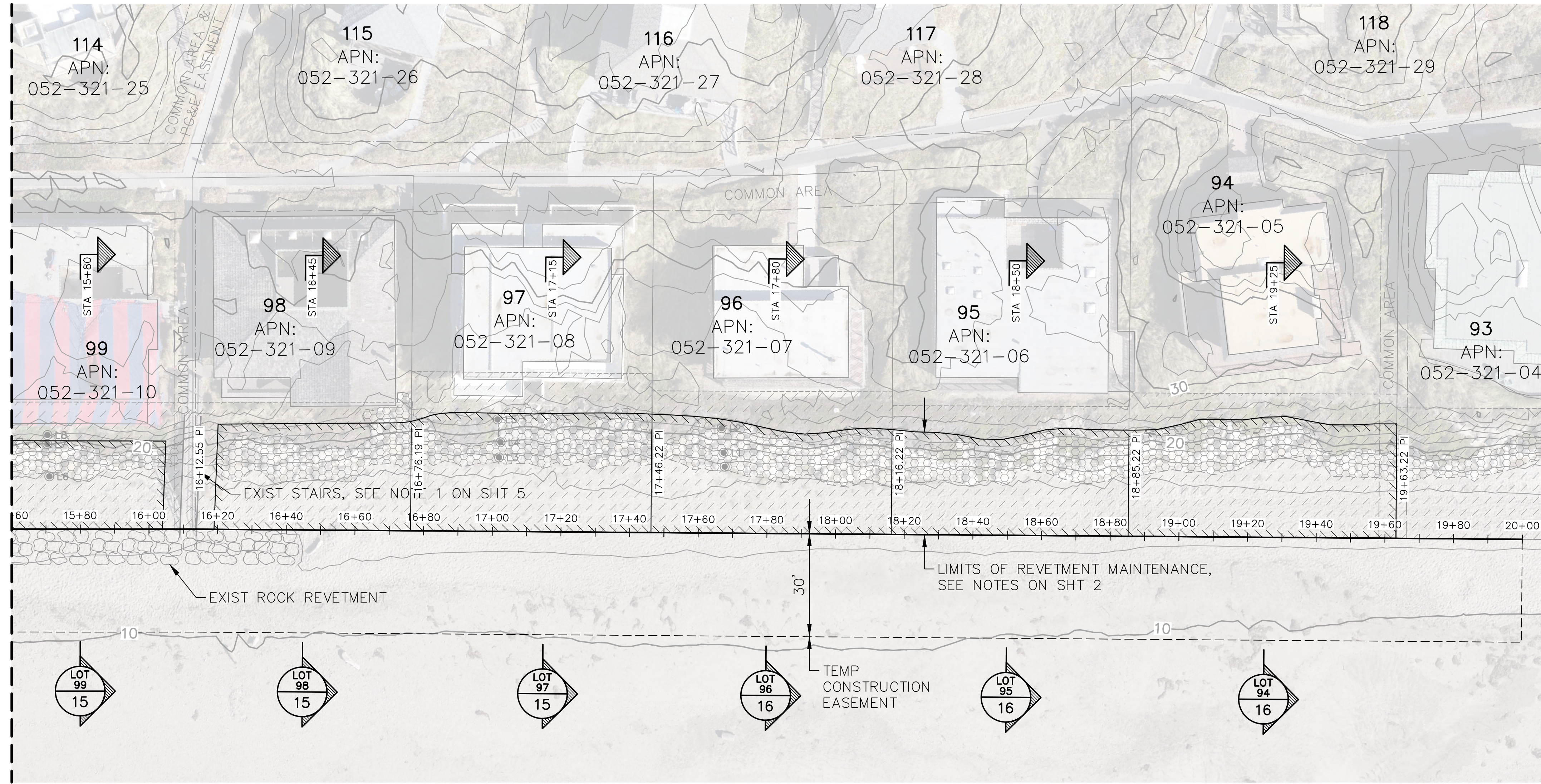
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SITE PLAN (4 OF 5)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 8 OF 16
-----------------------	-------------------------	-------------------------



\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:28:52 PM crodil

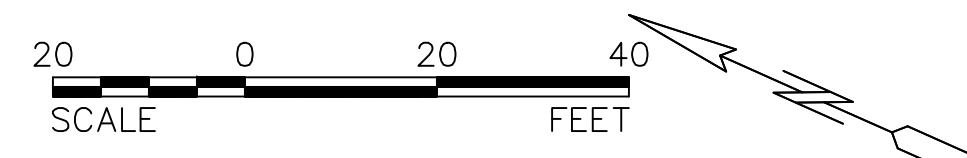
MATCH LINE STA 15+60, SEE SHEET 8



**LEGEND**

- REVETMENT MAINTENANCE
- EXISTING RSP
- EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	BY	M/D/YEAR

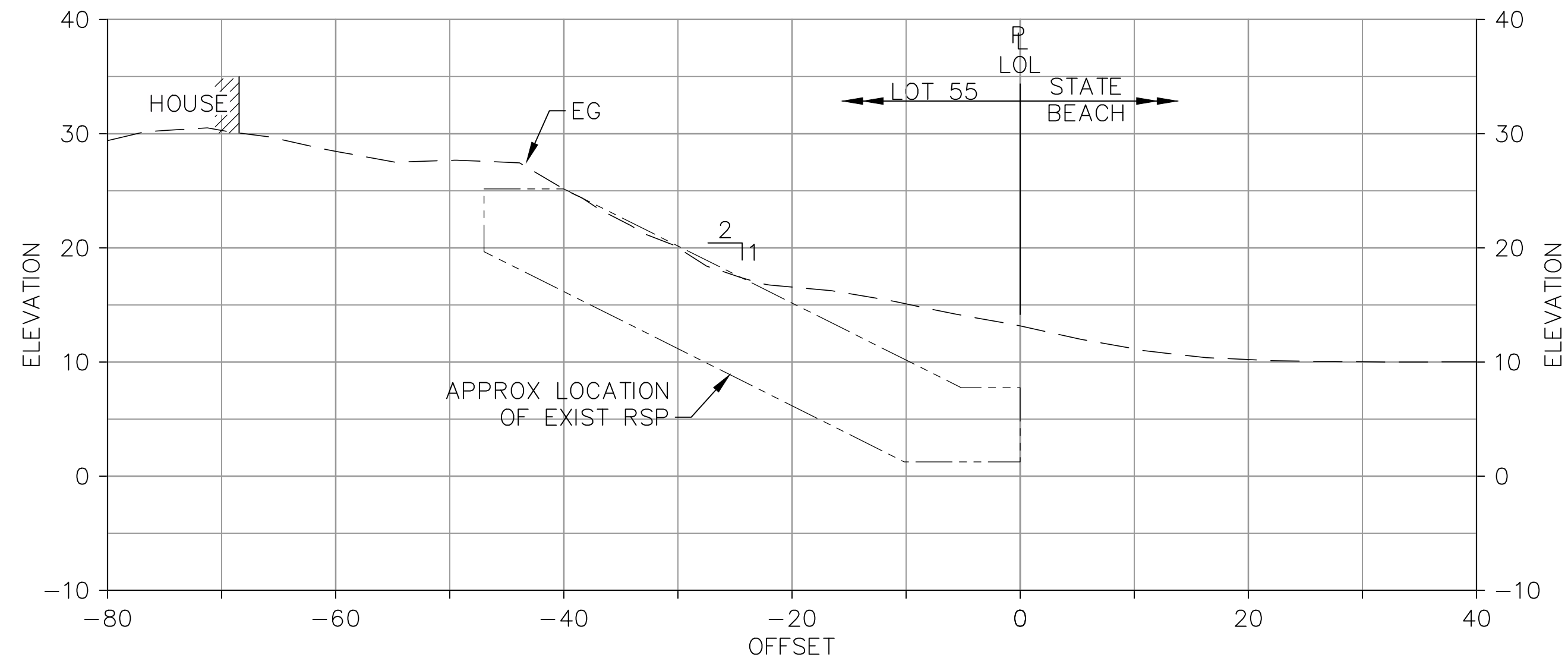
785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

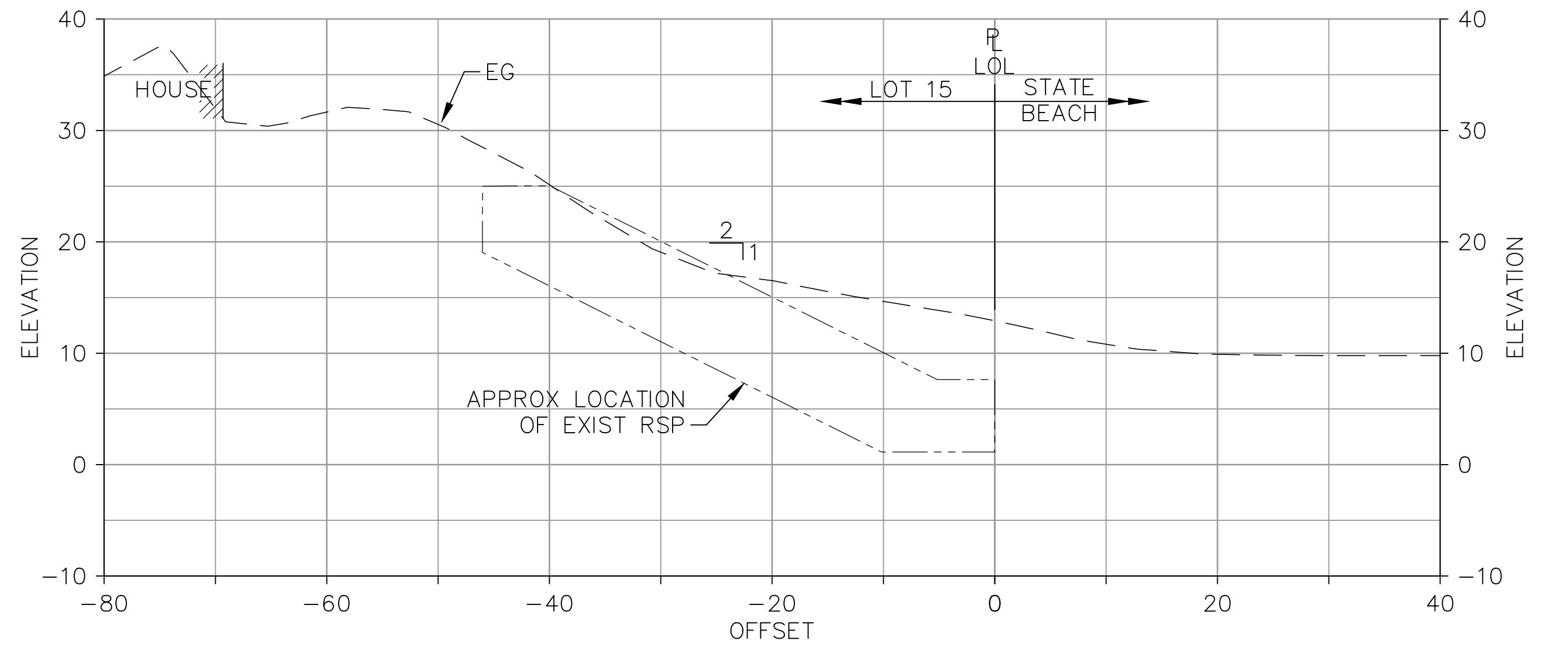
<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (5 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 9 OF 16	



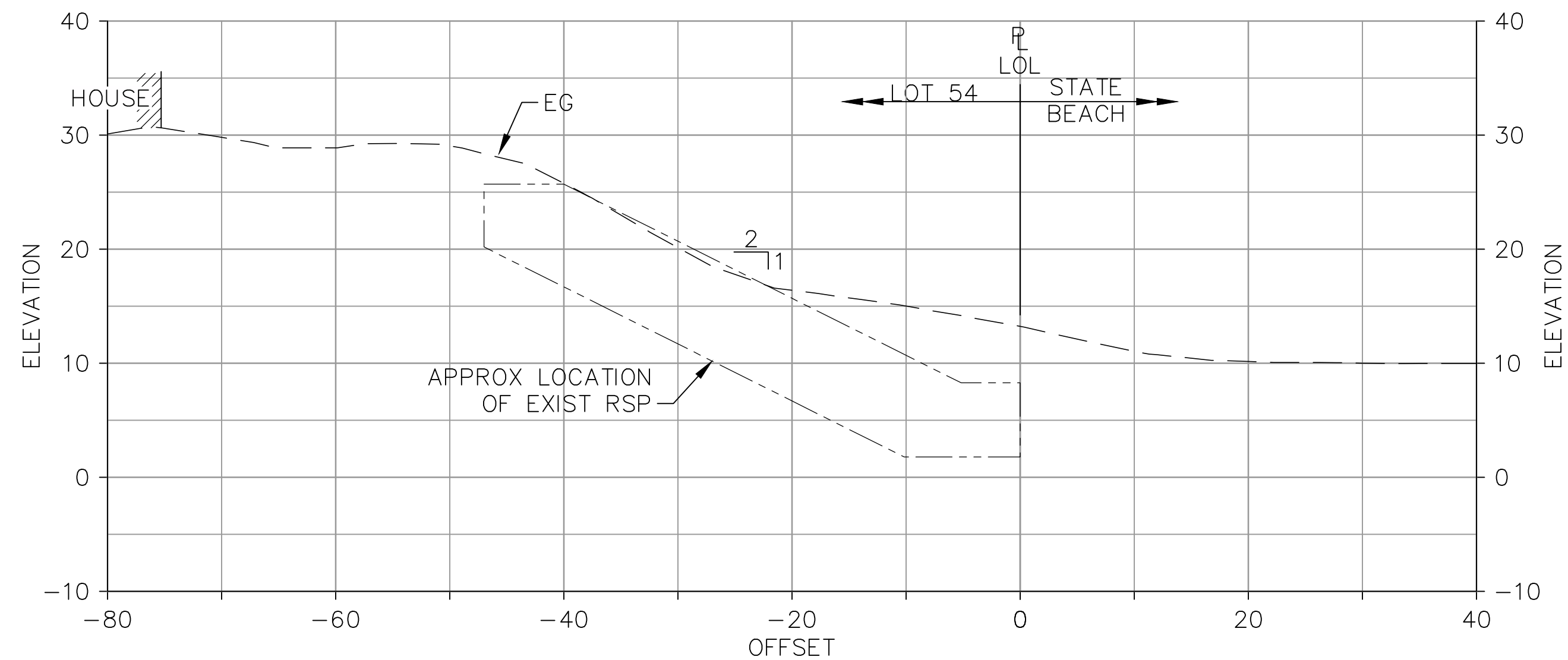
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:29:23 PM credil



SECTION LOT 55  
STA -2+65 5



SECTION LOT 15  
STA -1+50 5



SECTION LOT 54  
STA -2+15 5

**NOTES**

- PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
- THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

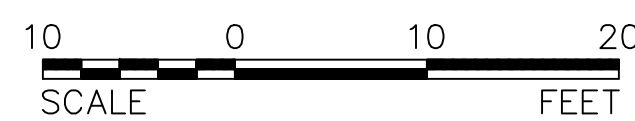
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
55	2.0:1	0	0
54	2.0:1	0	0
15	2.0:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING

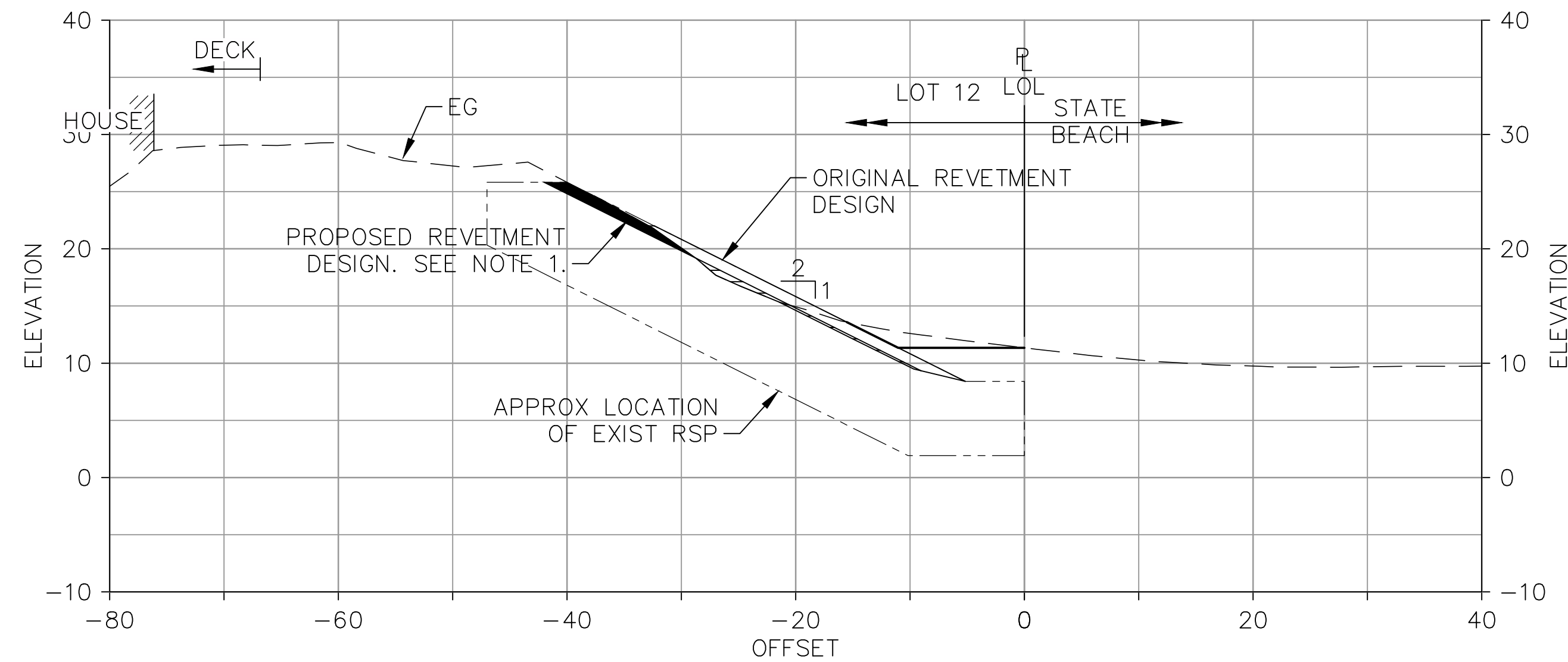


**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

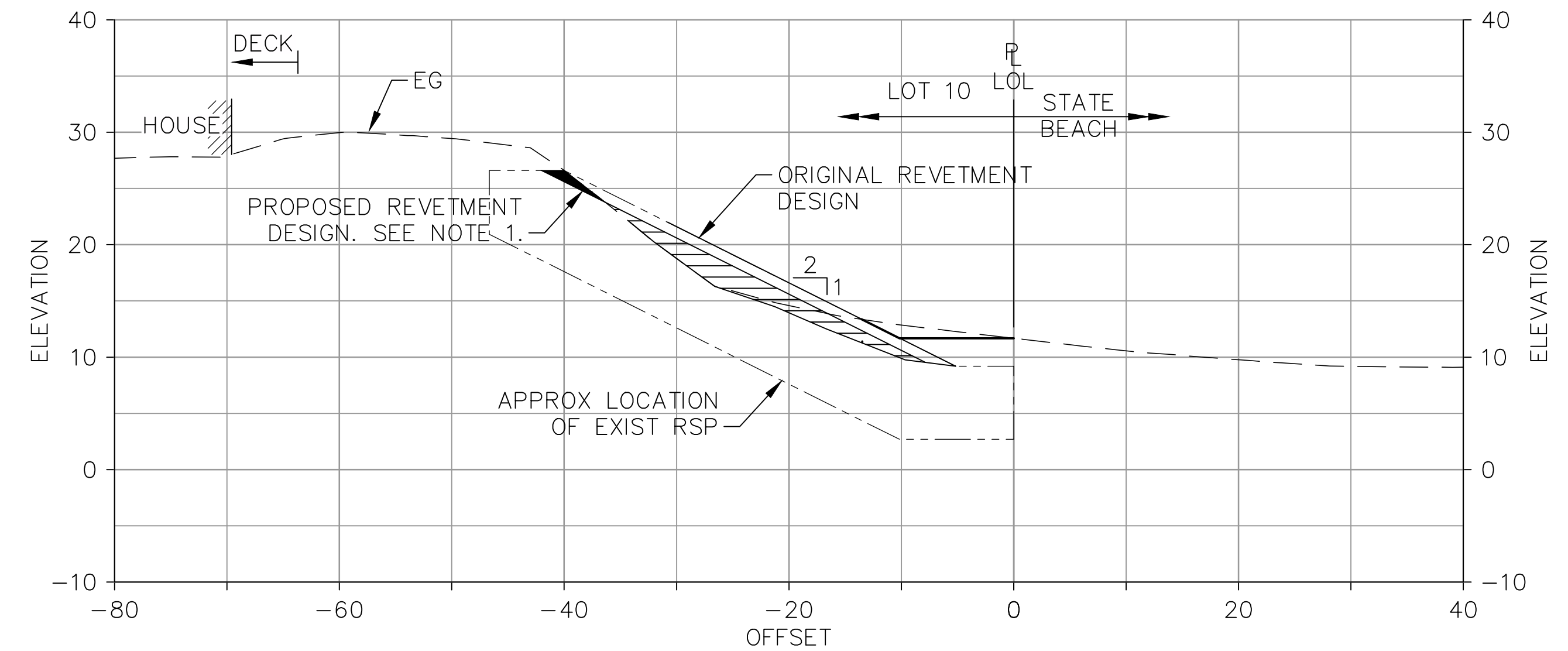


<b>CE&amp;G</b> A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (1 OF 7)	
		DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780

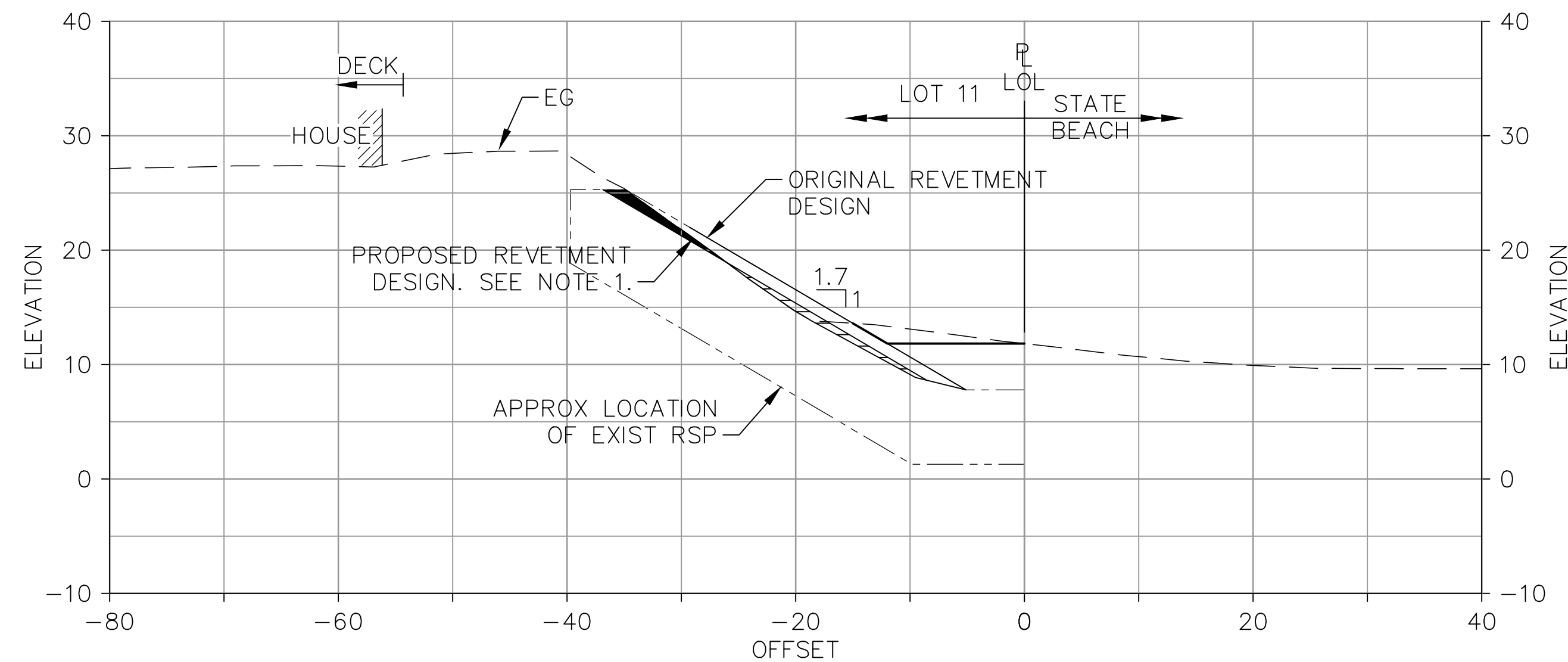
\\hollydrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:29:41 PM crodil



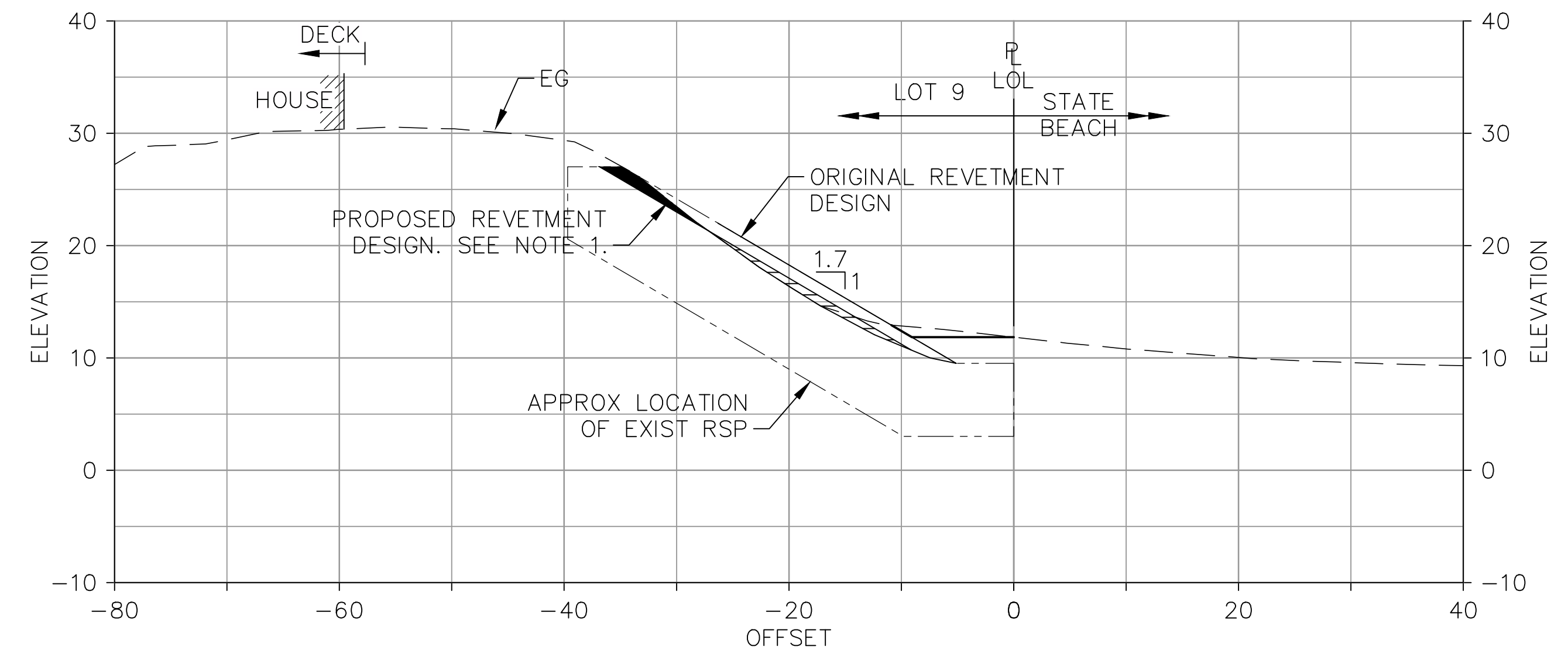
SECTION LOT 12  
STA 1+40 6



SECTION LOT 10  
STA 3+00 6



SECTION LOT 11  
STA 2+20 6



SECTION LOT 9  
STA 3+70 6

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

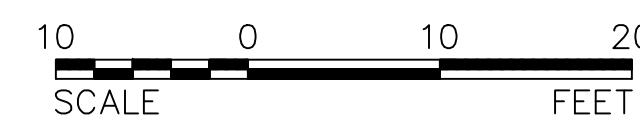
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
12	2.0:1	22	37
11	1.7:1	34	26
10	2.0:1	152	11
9	1.7:1	31	21

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING

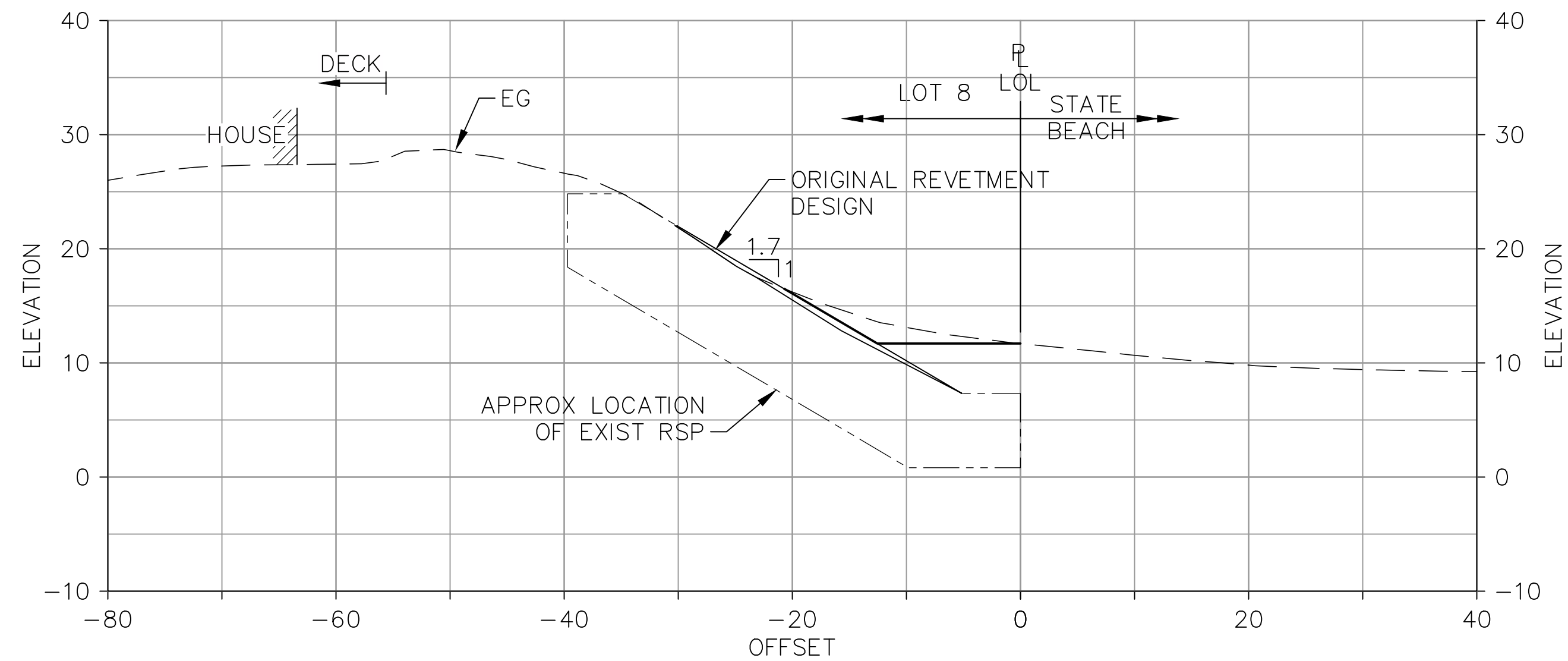


**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

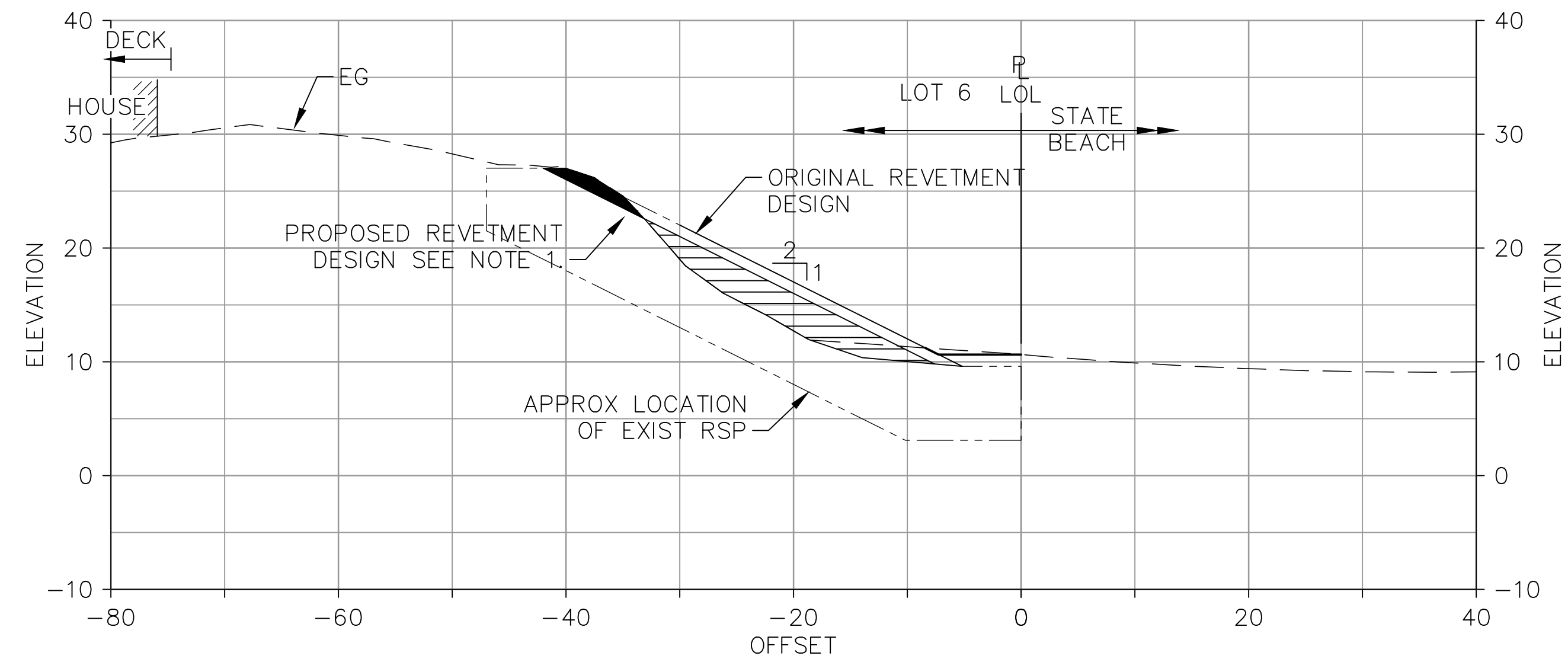


<b>CE&amp;G</b> A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
DESIGNED C. HOCKETT		DRAWN K. DROZYNSKA		CHECKED D. PELUSO	
PROJECT NO. 190780		DATE AUGUST 29, 2023		SHEET NO. OF 11 OF 16	

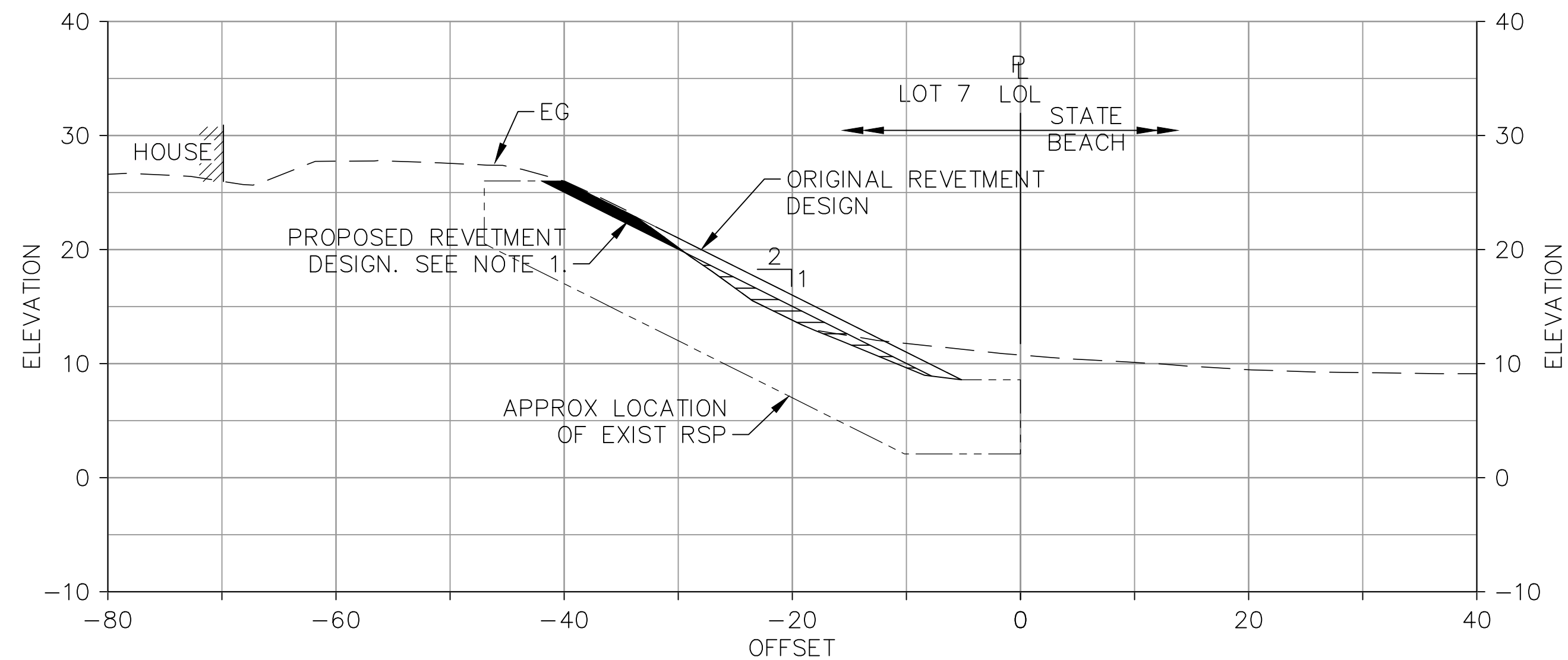
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:29:56 PM crodil



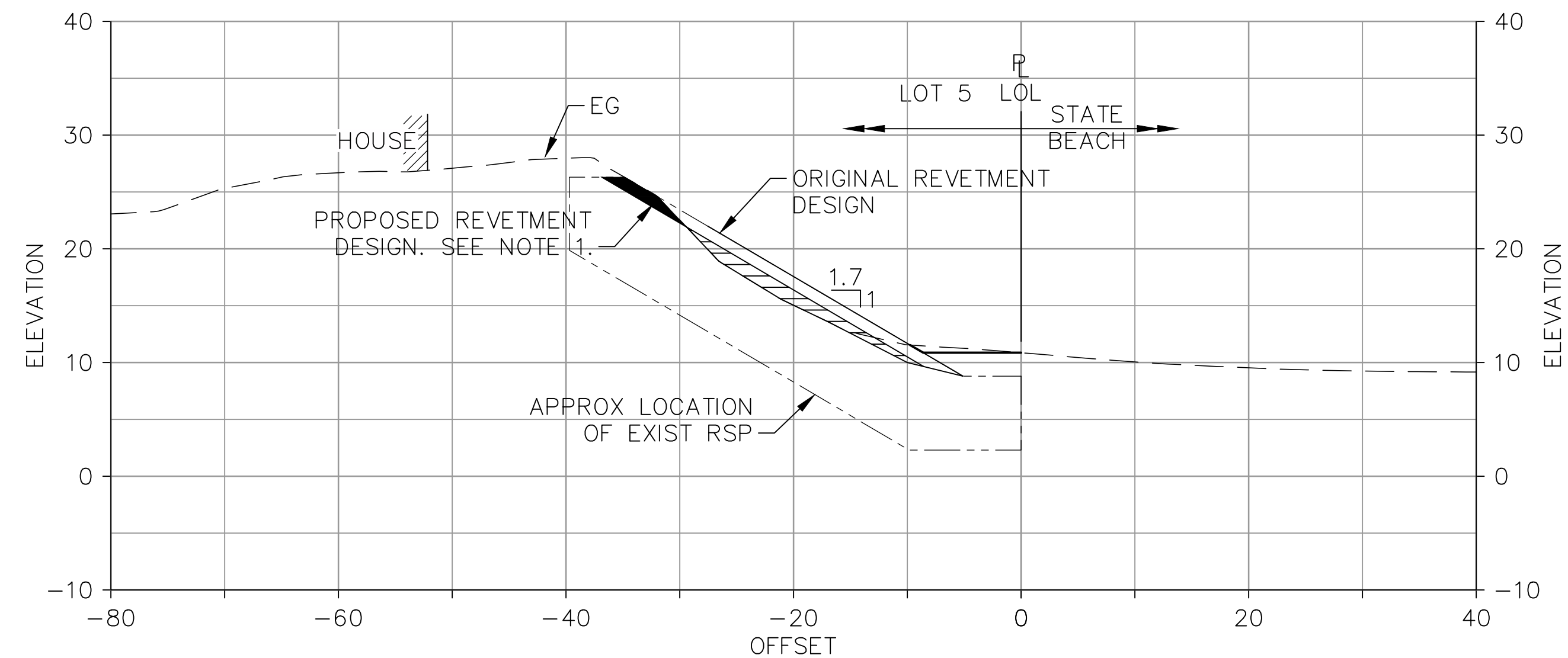
SECTION LOT 8  
6  
STA 4+30



SECTION LOT 6  
7  
STA 5+75



SECTION LOT 7  
6  
STA 5+15



SECTION LOT 5  
7  
STA 6+55

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
8	1.7:1	0	0
7	2.0:1	63	35
6	2.0:1	208	29
5	1.7:1	72	21

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

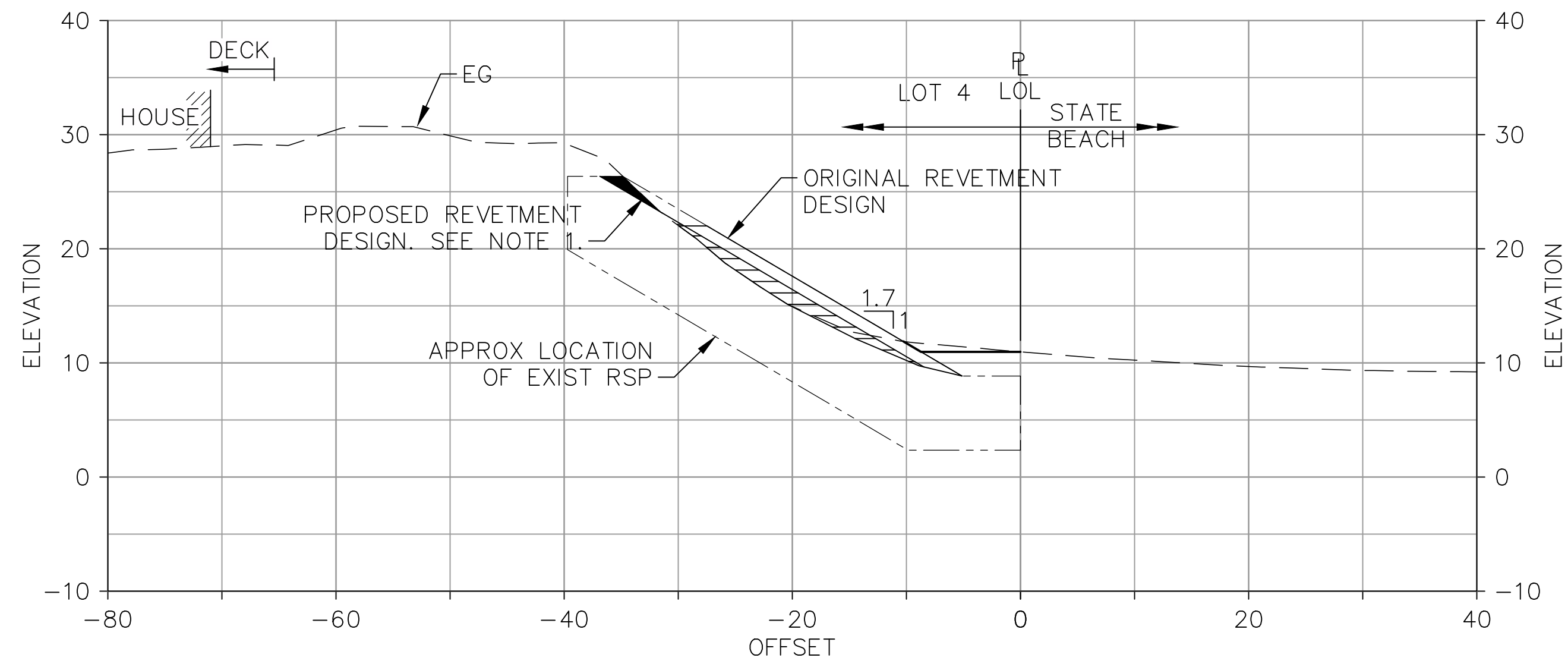
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

**PAJARO DUNES GHAD**

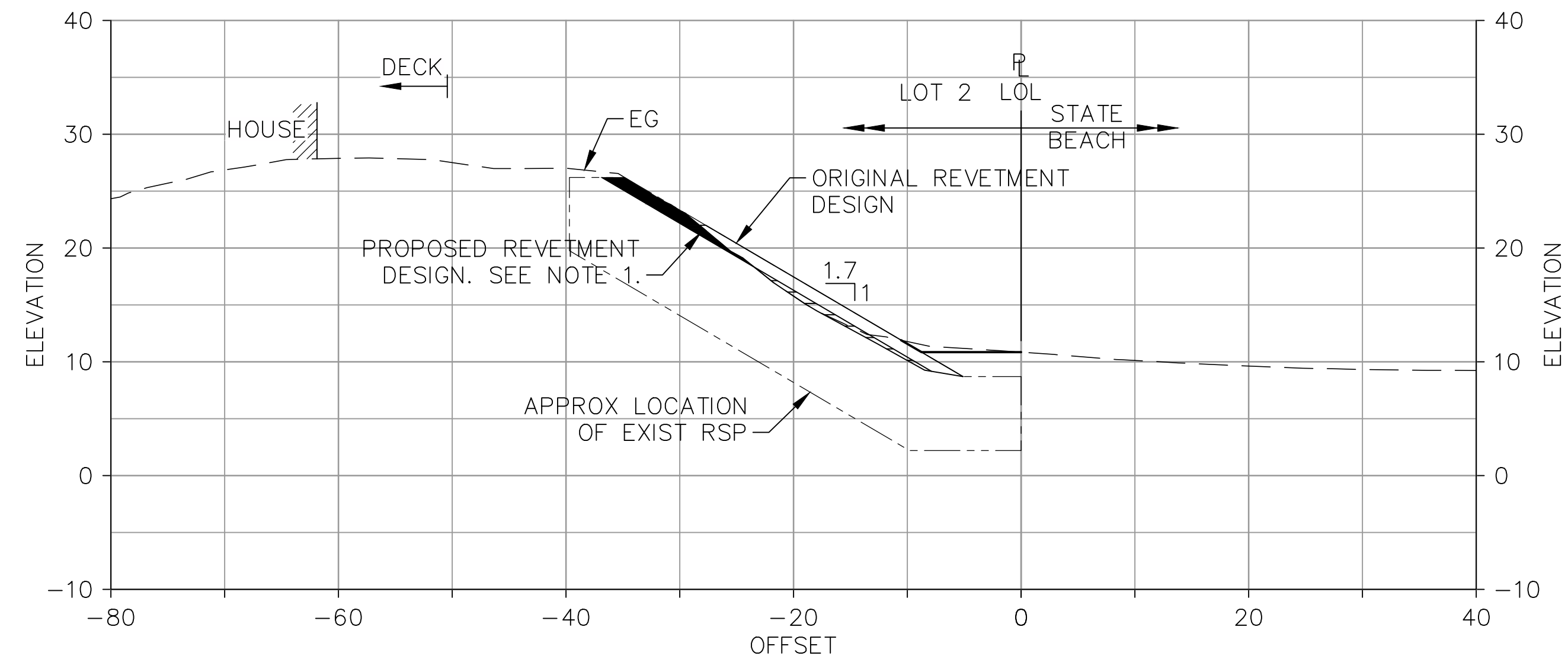
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (3 OF 7)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 12 OF 16
-----------------------	-------------------------	--------------------------

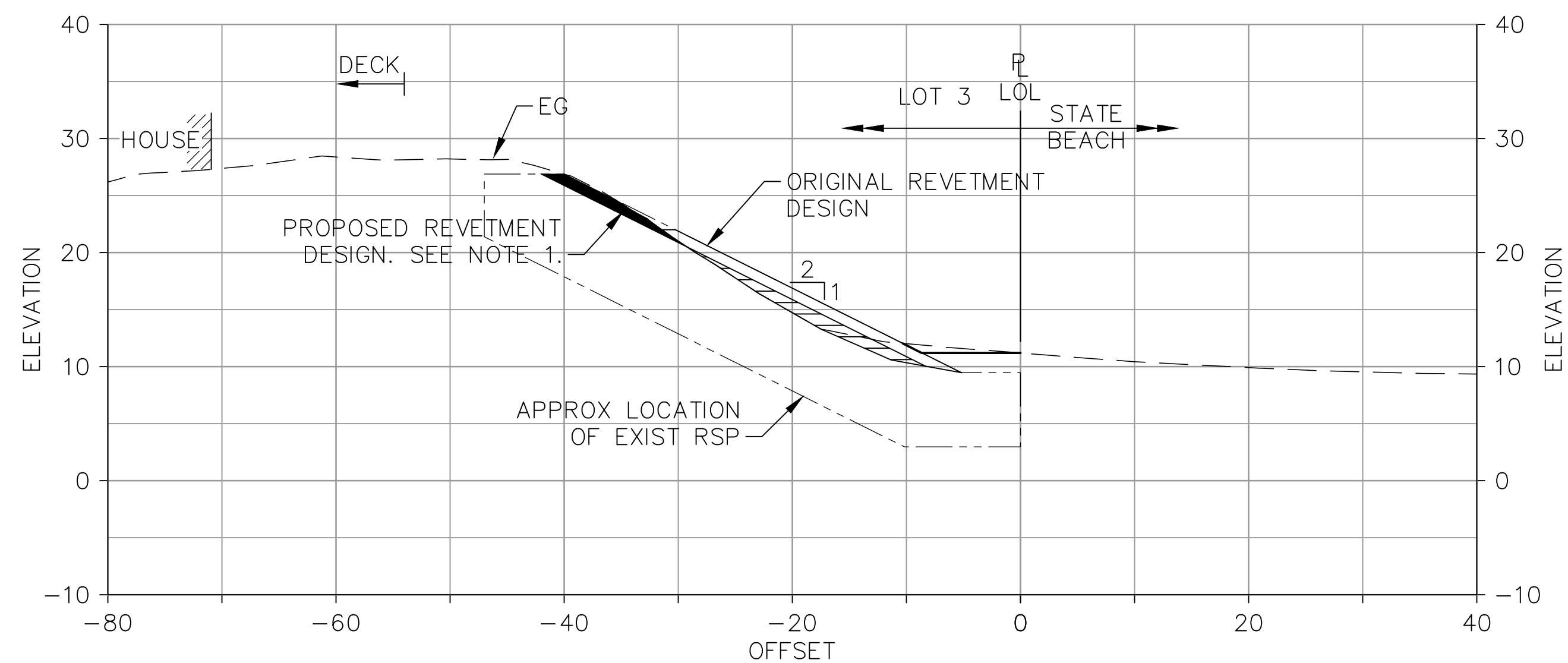
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:30:12 PM crodil



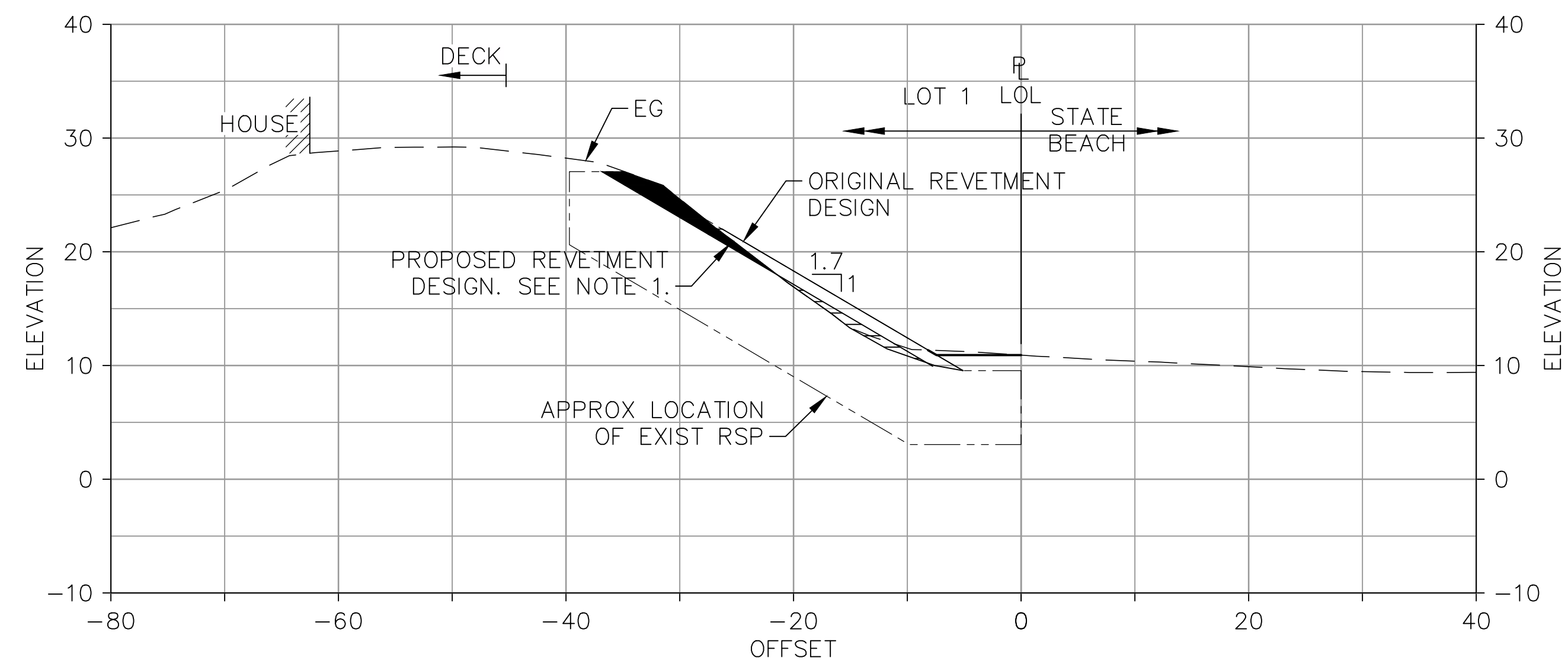
SECTION LOT 4  
STA 7+30 7



SECTION LOT 2  
STA 8+80 7



SECTION LOT 3  
STA 8+10 7



SECTION LOT 1  
STA 9+50 7

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

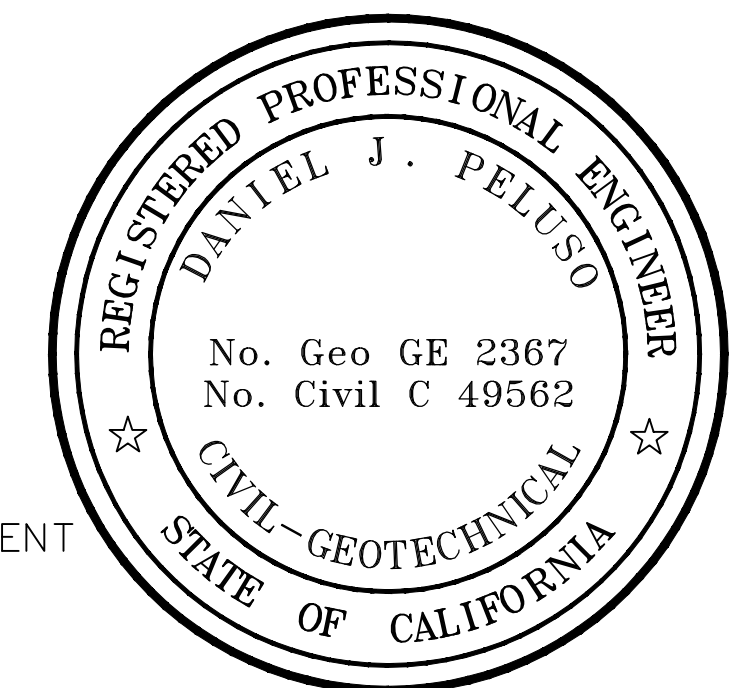
**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

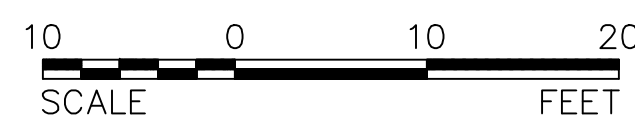
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
4	1.7:1	102	15
3	2.0:1	61	31
2	1.7:1	22	36
1	1.7:1	24	54

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



**CE&G**  
A division of Haley & Aldrich

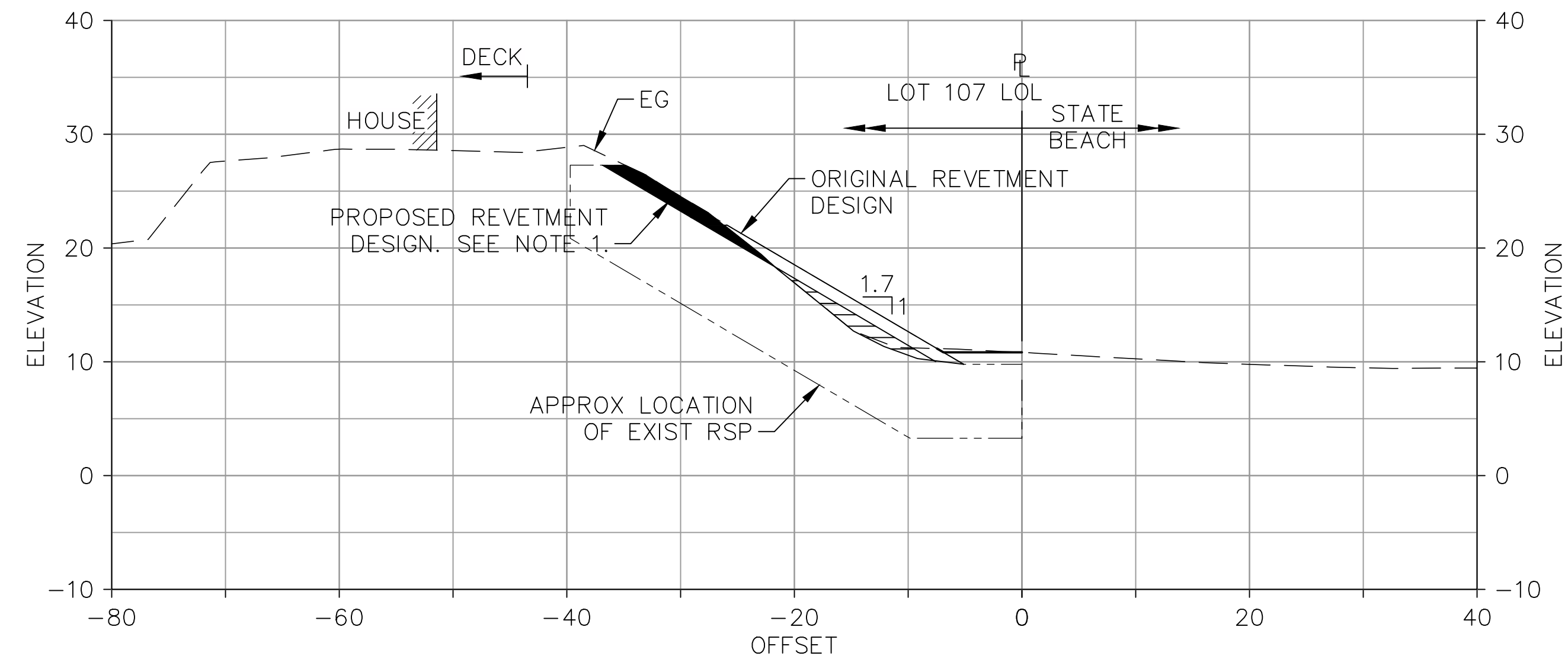
785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

**PAJARO DUNES GHAD**

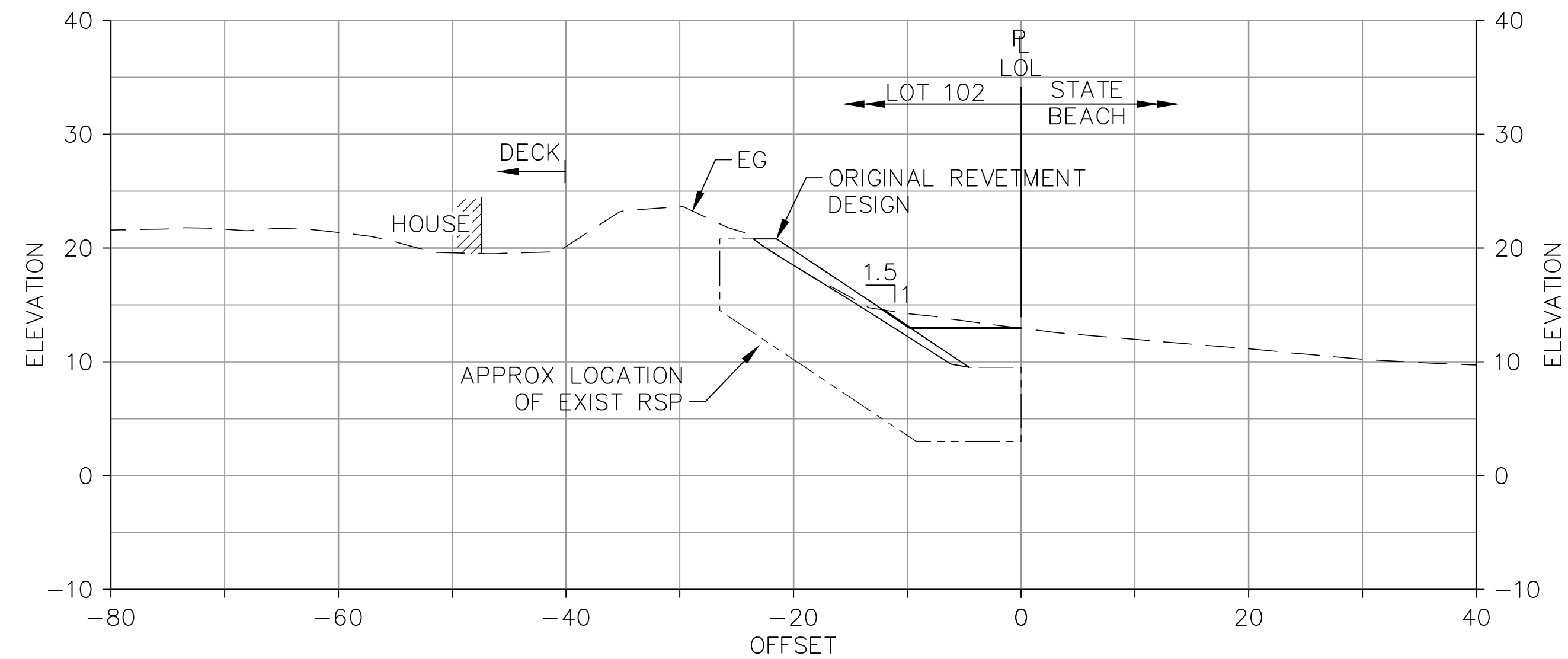
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (4 OF 7)

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 13 OF 16
------------------------	-----------------------	----------------------	-----------------------	-------------------------	--------------------------

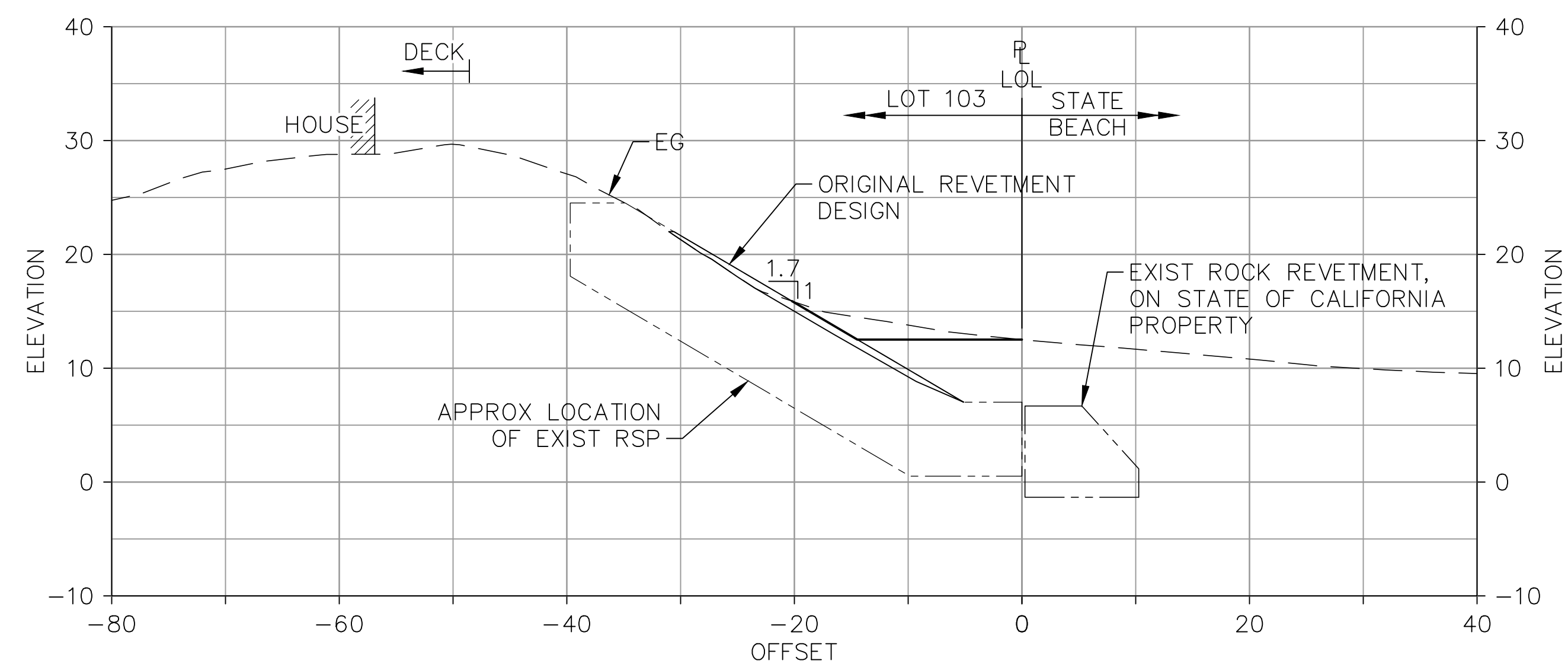
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:30:26 PM credfil



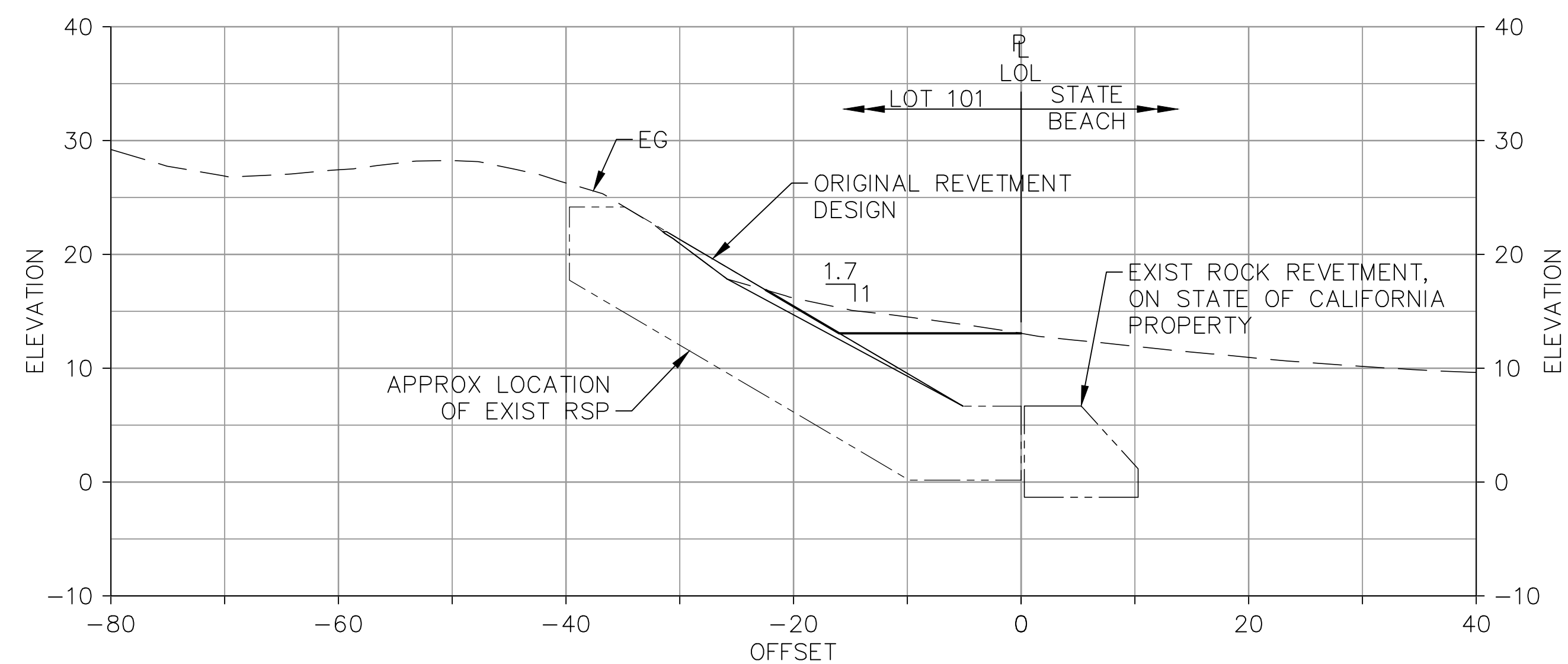
SECTION LOT 107  
STA 10+20 7



SECTION LOT 102  
STA 13+70 8



SECTION LOT 103  
STA 13+00 8



SECTION LOT 101  
STA 14+40 8

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
107	1.7:1	42	49
103	1.7:1	0	0
102	1.5:1	0	0
101	1.7:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

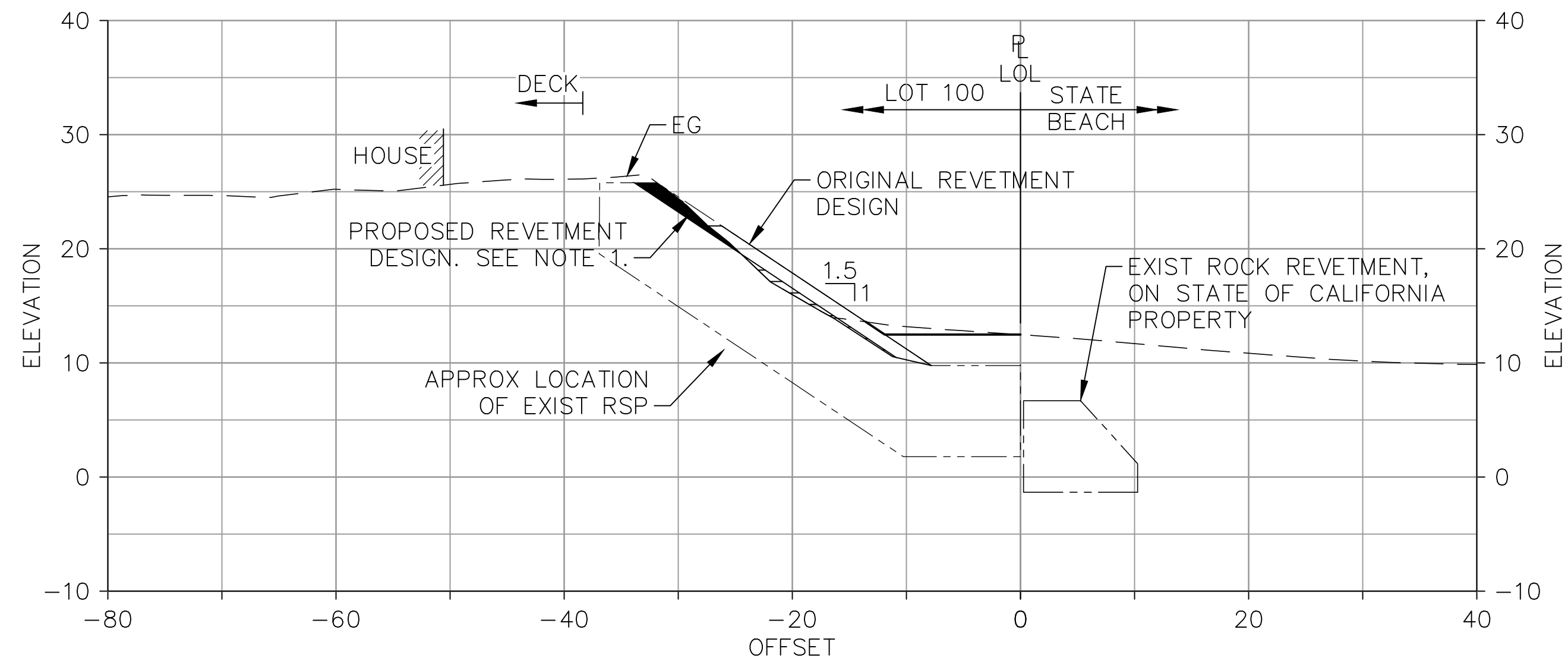
DESIGNED: C. HOCKETT  
DRAWN: K. DROZYNSKA  
CHECKED: D. PELUSO

**PAJARO DUNES GHAD**

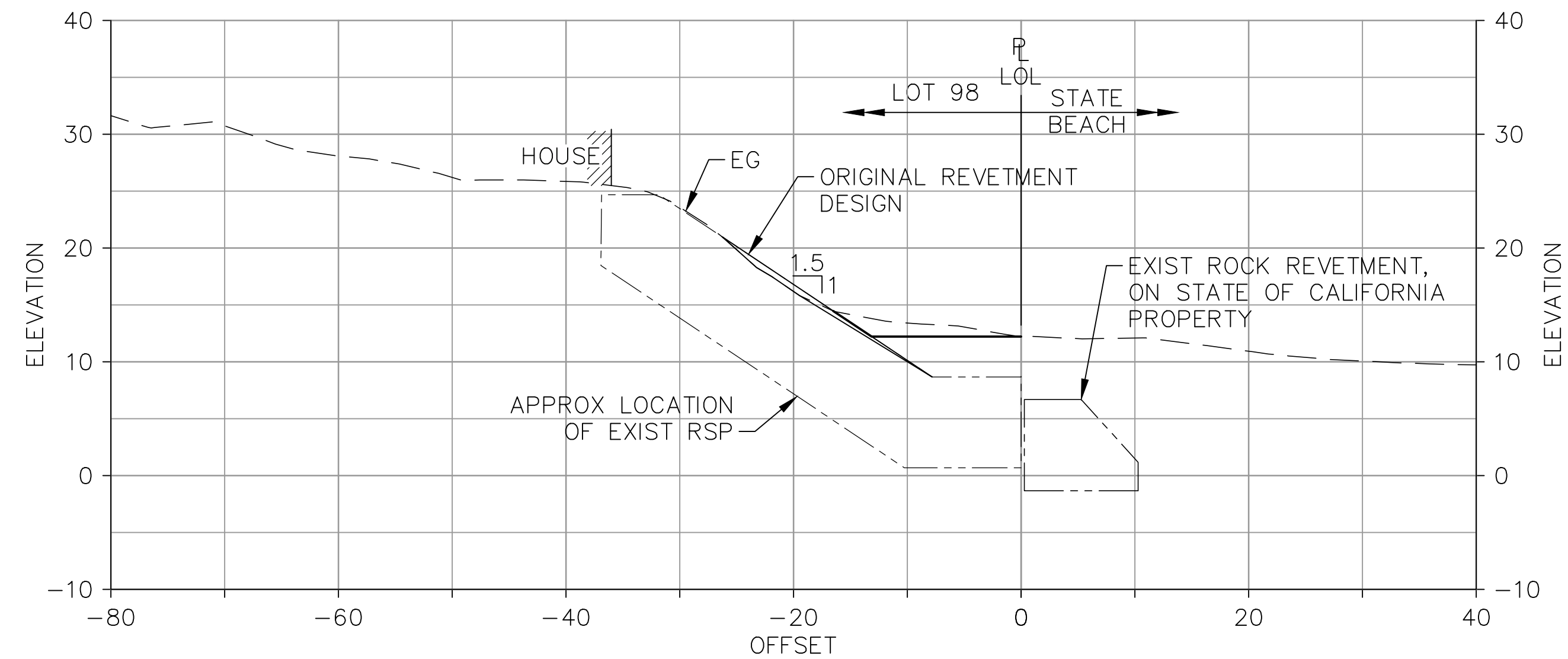
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (5 OF 7)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 14 OF 16
-----------------------	-------------------------	--------------------------

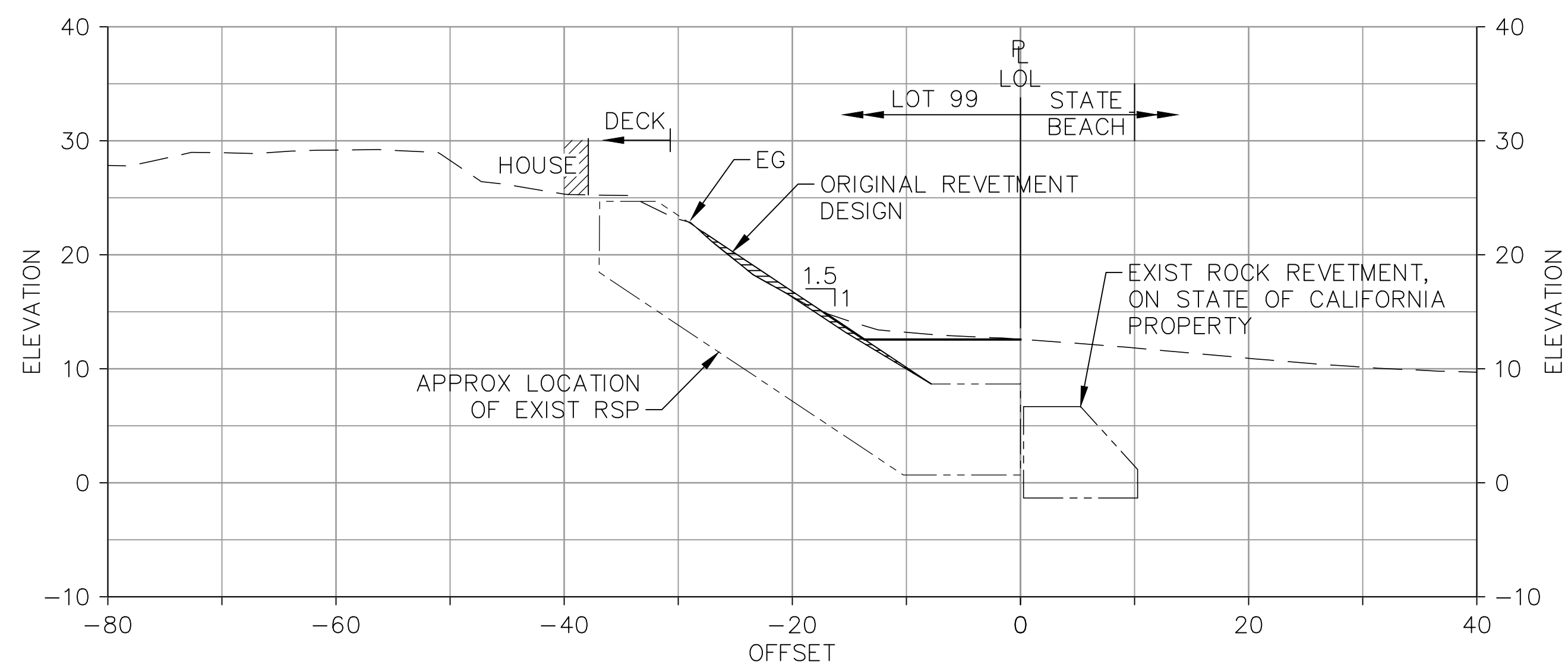
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:30:41 PM crodill



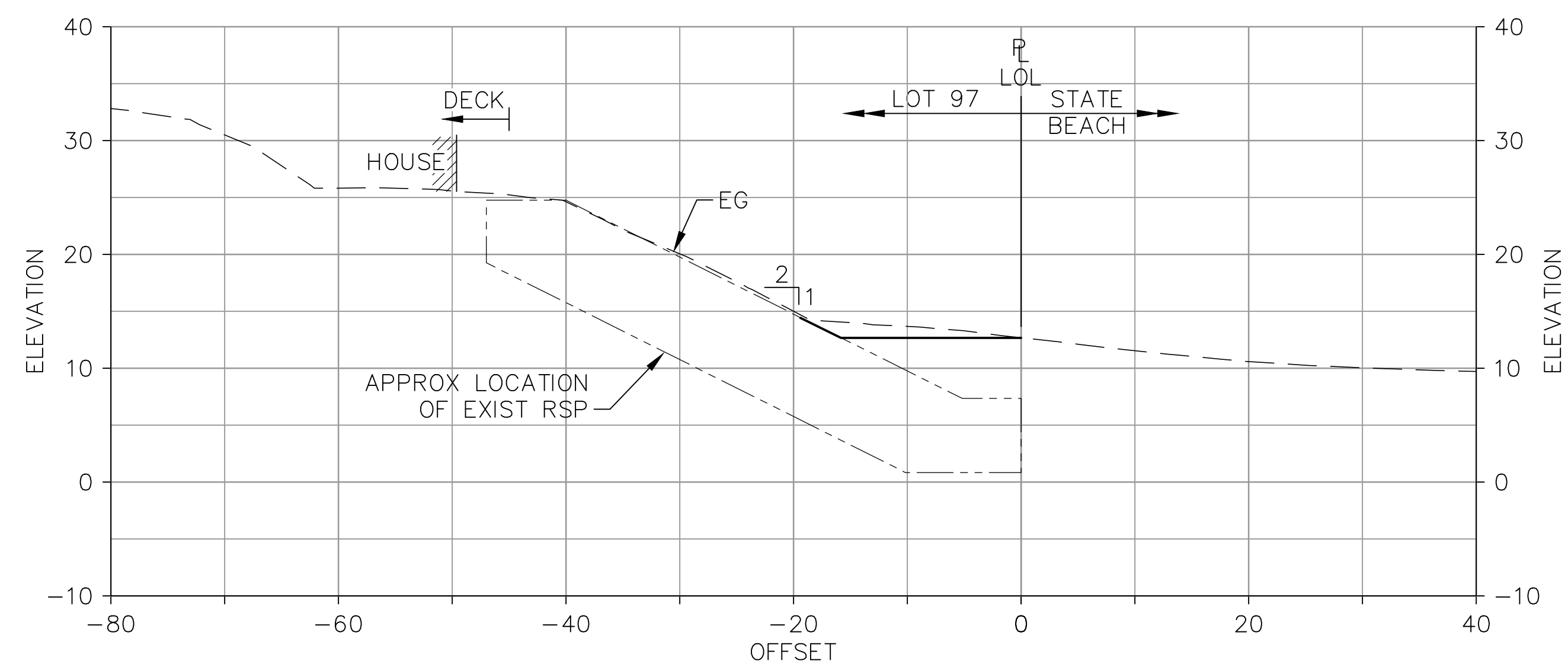
SECTION LOT 100  
STA 15+10 8



SECTION LOT 98  
STA 16+45 9



SECTION LOT 99  
STA 15+80 9



SECTION LOT 97  
STA 17+15 9

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
100	1.5:1	16	24
99	1.5:1	30	0
98	1.5:1	0	0
97	2.0:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING

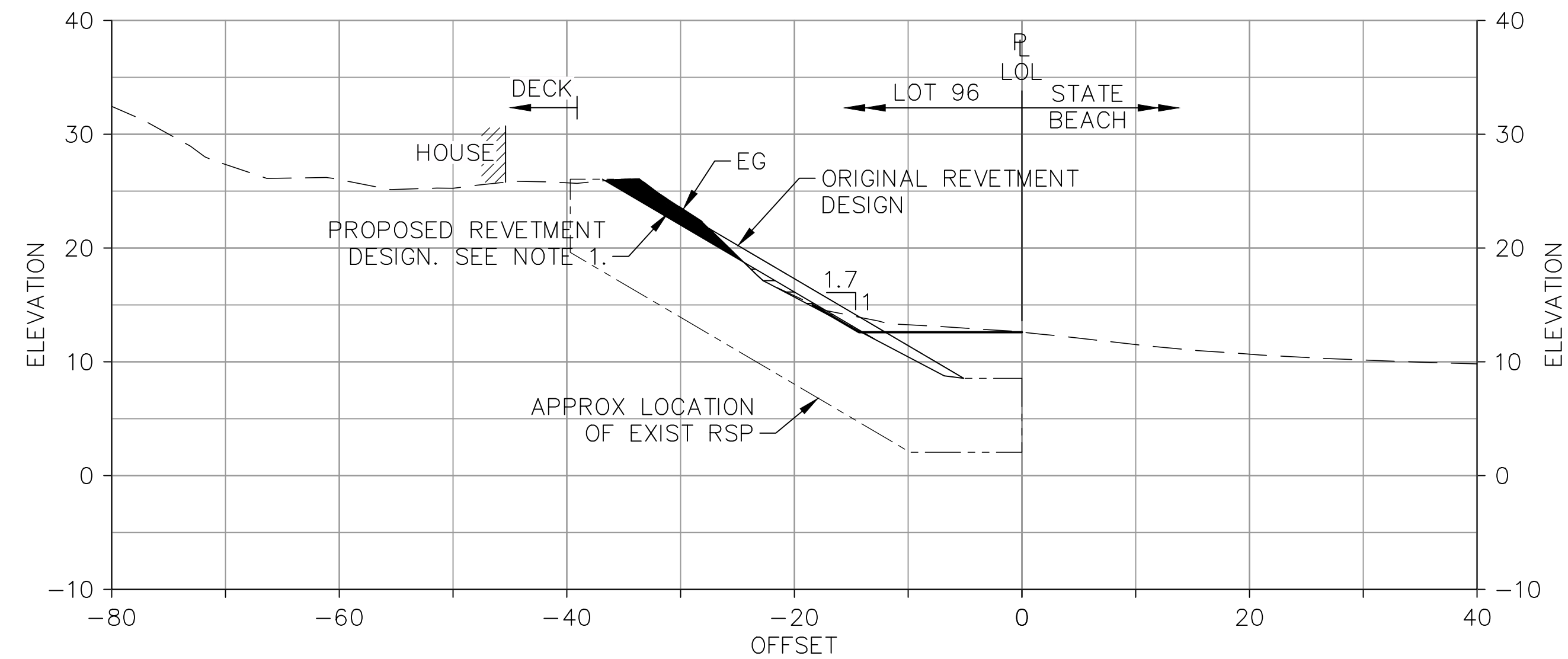


**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

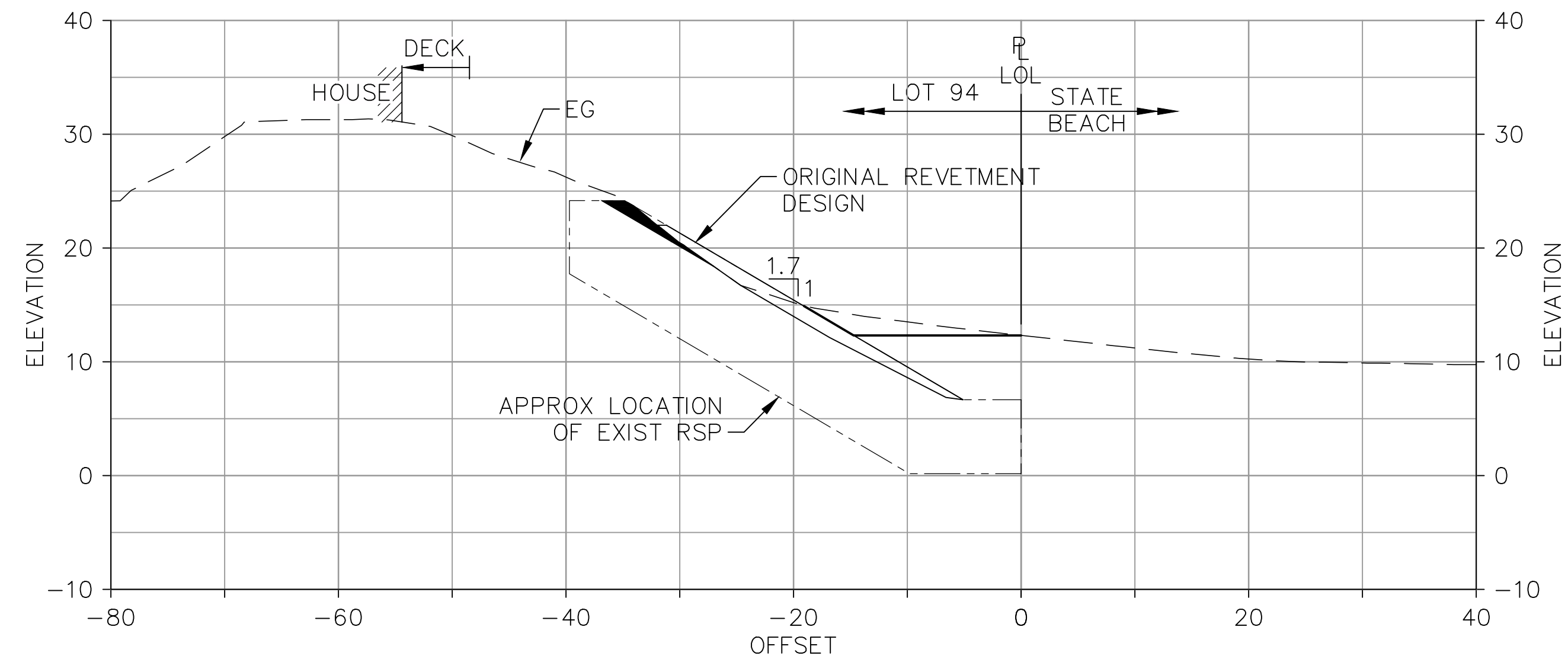


<b>CE&amp;G</b> A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
				ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (6 OF 7)	
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 15 OF 16

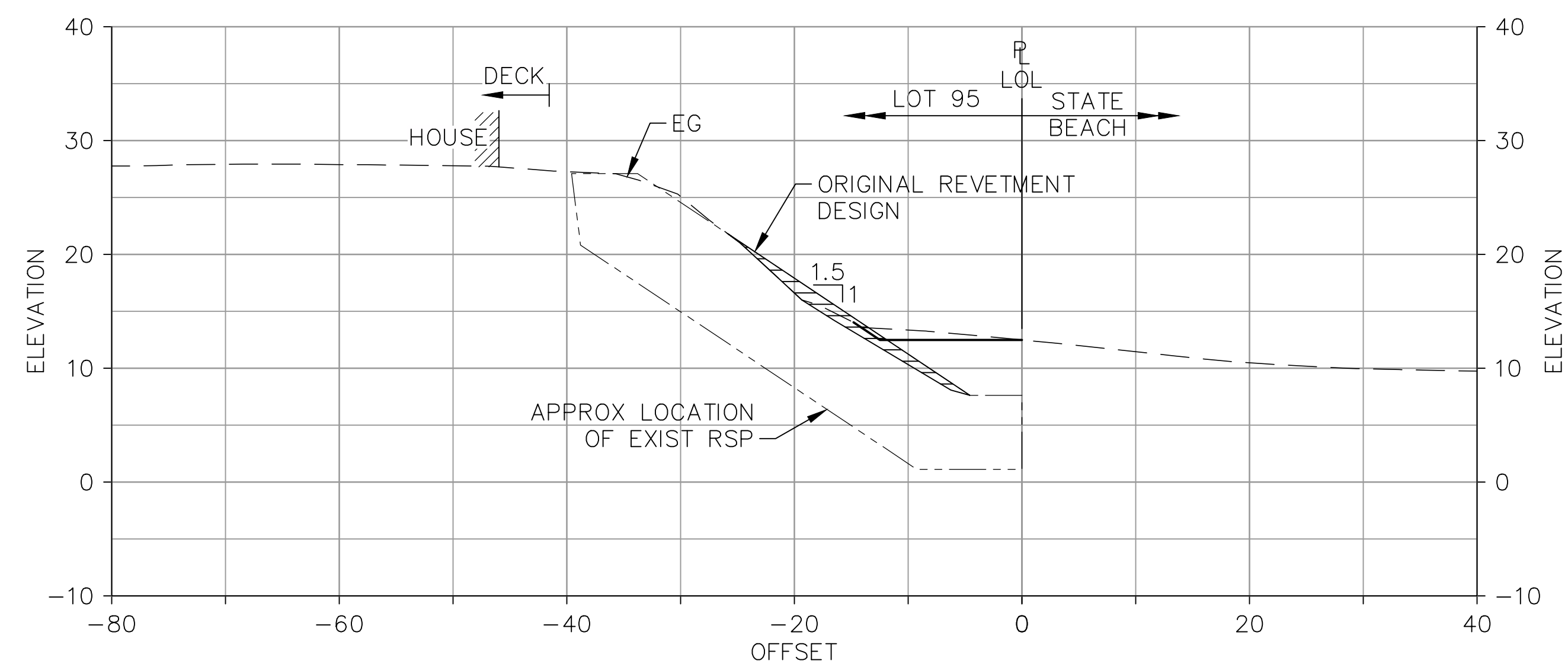
\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\10-16-SECTIONS.dwg 8-29-23 12:30:56 PM credil



SECTION LOT 96  
STA 17+80 9



SECTION LOT 94  
STA 19+25 9



SECTION LOT 95  
STA 18+50 9

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
96	1.7:1	12	51
95	1.5:1	67	0
94	1.7:1	0	22

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (7 OF 7)

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780
DATE AUGUST 29, 2023		SHEET NO. OF 16 OF 16	

**PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT  
PRESIDENT'S REPORT  
PAJARO DUNES SEAWALL MAINTENANCE AND REPAIR PLAN PROJECT  
ASSESSMENT ELECTION**

The Pajaro Dunes Geologic Hazard Abatement District (“GHAD”) is seeking approval of a new assessment to fund the Pajaro Dunes Seawall Maintenance and Repair Plan Project (“Project”). The Project entails the long-needed repair and restoration of portions of the seawall for which all properties in Zone 1 of the District are responsible. The seawall has been repeatedly damaged by coastal erosion occurring during severe winter storms since its construction in 1986-88. After years of effort, the District has been able to obtain approval from Santa Cruz County of a Seawall Maintenance and Repair Plan, that allows the District to pull a grading permit for repair and restoration activities. The Project proposes to repair portions of the seawall to essentially restore and preserve the original seawall configuration. Rock previously placed for emergency seawall repair on California State Parks property in 2003, as well as rock that has been displaced over time within and adjacent to the seawall itself, will be used for the Project. The Project is planned to impact a 1,900- foot-long segment of the seawall. Unless the involved repair and restoration work is performed, there is an ongoing risk that weakened portions of the wall will be breached during upcoming storms, causing flooding and possible structural damage to homes throughout the District.

Although final Project costs will not be known until the Project has been bid and constructed, the District’s Project Engineer, Hayley and Aldrich, Inc. has estimated that the Project will cost \$3,524,920. (Project Cost-\$1,990,102; 15% Contingency-\$298,515; Annual Loan Interest of 9% for 10-year term-\$1,236.303= total Estimated Cost of \$3,524,920.)

Pursuant to California Public Resources Code Section 26651, upon declaring its intention to order an assessment to cover the costs of maintaining improvements located within a Geologic Hazard Abatement District (in our case, the Seawall), a report is to be prepared by an officer of the Board setting forth the total estimated budget, the proposed estimated assessments to be levied each year against each parcel of property, and a description of the method used in formulating the estimated assessments. For all intents and purposes, this requirement has been superseded by the provisions of Section 4 of Article XIID of the California Constitution, which require that assessments for special districts be supported by a report prepared by a registered professional engineer. An Engineer’s Report in support of the proposed Project, prepared by Project Engineer Haley & Aldrich, Inc, has been prepared and filed with the District, is available for public review on the District’s website and discussed at noticed District Board meetings on March 6, April 6 and May 18 of 2024, and was accepted by the Board on June 1, 2024.

In order to comply with Section 26651, this report has been prepared incorporating and setting forth sections of the aforesaid Engineer’s Report.

1. Total Project Cost and Maximum Assessment. See Table 1 from the Haley & Aldrich Engineer’s Report, attached hereto as Attachment A, for the Engineer’s Estimate of the Project’s cost. This Estimate also represents the Maximum Total Assessment that could be levied for the Project over a ten-year term commencing in Fiscal Year 2024-2025.

2. Proposed assessment to be levied against each parcel of property. See Attachment A Table 2 from the Haley & Aldrich Engineer's Report for the proportionate share of the estimated Maximum Total Assessment, as well as the proposed Maximum Annual Assessment over a ten-year term, for each property in the District.

3. Description of the method used to formulate the assessments. The determination concerning special benefits to the Zone 1 properties and the methodology used in determining the cost allocation to each such property is set forth in Section 3 of the Haley & Aldrich Engineer's Report, attached hereto as Attachment C.

John Cullen

President of the Board of the Pajaro Dunes Geologic Hazard Abatement District

**BOARD OF DIRECTORS  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT**

**Resolution Regarding Acceptance of the President’s Report  
for the Pajaro Dunes Seawall Maintenance and Repair Plan Project Assessment Election**

**RESOLUTION No. 2024-02**

**WHEREAS**, the Board of the Pajaro Dunes Geologic Hazard Abatement District (“Pajaro Dunes GHAD”) has provided direction to Staff to prepare documents necessary to initiate the process for consideration of an assessment to be imposed over a ten-year term on properties in Pajaro Dunes GHAD Zone 1 for the Pajaro Dunes Seawall Maintenance and Repair Plan Project; and

**WHEREAS**, Section 26651 of Division 17 of the California Public Resources Code states that before an assessment can be levied, an officer of the District shall prepare a report setting forth: (1) the estimated budget, (2) the proposed estimated assessments to be levied against each parcel of property, and (3) a description of the method used in formulating the estimated assessments, and

**WHEREAS**, the President of the District has prepared such a report, which is attached hereto; and

**WHEREAS**, the estimated Total Project costs, the proposed Maximum Annual Assessments to be levied against each parcel of property over a not- to exceed ten-year term, and the description of the method used in formulating the estimated assessments are attached to the President’s Report; and

**WHEREAS**, the hearing for public comment and protests on the proposed assessment has been set for 9:00 a.m. on July 27, 2024, at the Meadow Room, Pajaro Dunes, 2661 Beach Road, Watsonville, California 95076.

**NOW, THEREFORE, BE IT RESOLVED** that the Board of Directors of the Pajaro Dunes GHAD hereby adopts the President’s Report as the required officer’s report concerning the proposed Pajaro Dunes Seawall Maintenance and Repair Plan Project assessment election and instructs the District Clerk to file it in the official records of the district.

**PASSED AND ADOPTED** by the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District of the County of Santa Cruz, State of California, this 1st day of June, 2024 by the following vote:

**AYES:** Directors \_\_\_\_\_

**NOES:** Directors \_\_\_\_\_

**ABSENT:** Directors \_\_\_\_\_

**ABSTAIN:** Directors \_\_\_\_\_

\_\_\_\_\_  
John Cullen, President, Board of Directors

ATTEST: \_\_\_\_\_  
Sarah Mansergh, Clerk of the Board

**BOARD OF DIRECTORS  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT**

**Resolution to Approve Notice of Assessment Balloting  
and Public Hearing for 2024 Pajaro Dunes Maintenance and Repair Plan Project  
Assessment Election for Zone 1 and Assessment Ballot Proceedings**

**RESOLUTION No. 2024-03**

**WHEREAS**, the Board of the Pajaro Dunes Geologic Hazard Assessment District (“Pajaro Dunes GHAD” or “District”) is proposing to conduct proceedings for the levy and assessment of a new assessment for a 10-year term for Zone 1 for costs associated with the Pajaro Dunes Maintenance and Repair Plan Project; and

**WHEREAS**, Article XIII, Section 4 of the California Constitution (Proposition 218) requires that proposed assessments for the Pajaro Dunes GHAD be put to a vote of property owners within the District; and

**WHEREAS**, State law requires that the property owners within the District be sent a notice of the proposed assessments and the date of a public hearing to hear protests and count ballots.

**NOW, THEREFORE BE IT RESOLVED**, that the Board of Directors of the Pajaro Dunes GHAD hereby approves the “Notice of Assessment Balloting and Public Hearing for the 2024 Pajaro Dunes Maintenance and Repair Plan Project Assessment Election For Zone 1 and Assessment Ballot Proceedings” attached hereto as Exhibit “A,” and directs the District Clerk to mail the document to each property owner in Zone 1 along with the official ballot, and instructs the District Clerk to file a copy of the document in the official records of the District.

**BE IT FURTHER RESOLVED** that if the proposed assessment is approved by a majority of the weighted ballots submitted at or before the Public Hearing on July 27, 2024, the District Clerk is hereby directed to submit a list of member names, parcel numbers and assessments to the County Auditor/Controller in a timely manner so the assessment can be collected as part of the Santa Cruz County property tax bills commencing in Fiscal Year 2024-2025.

**PASSED AND ADOPTED** by the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District of the County of Santa Cruz, State of California, this 1<sup>st</sup> of June, 2024 by the following vote:

**AYES:** Directors \_\_\_\_\_

**NOES:** Directors \_\_\_\_\_

**ABSENT:** Directors \_\_\_\_\_

**ABSTAIN:** Directors \_\_\_\_\_

\_\_\_\_\_  
John Cullen, President, Board of Directors

**ATTEST:** \_\_\_\_\_  
Sarah Mansergh, Clerk of the Board

**NOTICE OF ASSESSMENT BALLOTING AND PUBLIC HEARING  
FOR THE 2024 ASSESSMENT ELECTION  
FOR THE ZONE 1 PAJARO DUNES SEAWALL MAINTENANCE AND REPAIR PLAN  
PROJECT**

**Introduction**

Zone 1\* of the Pajaro Dunes Geologic Hazard Abatement District (“GHAD” or “District”) was formed in October 1998 to maintain the rock revetment seawall. The seawall was designed to reduce damage due to coastal erosion and coastal flooding from a 30-year storm event. While the initial construction costs for the seawall were paid by the front-row lot owners, the Pelican Condominium owners and Cypress Townhouse owners, Zone 1 of the GHAD has assumed responsibility for maintaining and repairing the seawall, to the extent that District property owners approve funding for such maintenance and repair activities. The affairs of the GHAD are managed by a five-person Board of Directors, which currently includes John Cullen, David Ferrari, Raphael Kraw, Michael Butner and Patrick Dobbins.

On June 1, 2024, the GHAD Board adopted a Resolution of Intention to approve and levy new assessments over a not-to-exceed ten-year term to pay for costs associated with the Pajaro Dunes Seawall Maintenance and Repair Plan Project for Zone 1. This notice has been developed as a result of Public Resources Code requirements and as a consequence of the passage of Proposition 218, a statewide Constitutional initiative, which was approved by the voters at the November 5, 1996 general election. Proposition 218 added Article XIII D to the California Constitution, and that Article requires that all new or increased assessments in any special district must be approved by a weighted majority vote of the property owners within the district. The votes are weighted in proportion to the size of the assessment.

**Assessment Ballot**

Enclosed with this public notice is an assessment ballot for Zone 1, which you, as the property owner, can complete and return to the District Clerk at the address provided in this notice. The balloting procedures are discussed below.

**Background Information and Purpose of 2024 Assessment Election**

The Pajaro Dunes Geologic Hazard Abatement District is seeking approval of a new assessment to fund the Pajaro Dunes Seawall Maintenance and Repair Plan Project (“Project”). The Project entails the long-needed repair and restoration of portions of the seawall for which all properties in Zone 1 of the District are responsible. The seawall has been repeatedly damaged by coastal

---

\* The GHAD consists of two zones, Zone 1, which is responsible for maintenance of the seawall and consists of all members of the District, and Zone 2, which consists of all Pelican Condominium owners and is responsible for maintenance and repair of the river wall.

erosion occurring during severe winter storms since its construction in 1986-88. After years of effort, the District has been able to obtain Santa Cruz County's approval of a Seawall Maintenance and Repair Plan that allows the District to pull a grading permit for repair and restoration activities. The Project proposes to repair portions of the seawall to essentially restore and preserve the original seawall configuration. Rock previously placed for emergency seawall repair on California State Parks property in 2003, as well as rock that has been displaced over time within and adjacent to the seawall itself, will be used for the Project. The Project is planned to impact a 1,900- foot-long segment of the seawall. Unless the involved repair and restoration work is performed, there is an ongoing risk that weakened portions of the wall will be breached during upcoming storms, causing flooding and possible structural damage to homes throughout the District.

Although final Project costs will not be known until the Project has been bid and constructed, the District's Project Engineer, Hayley and Aldrich, Inc. has estimated that the Project will cost \$3,524,920. (Project Cost-\$1,990,102; 15% Contingency-\$298,515; Annual Loan Interest of 9% for 10-year term- \$1,236.303= total Estimated Cost of \$3,524,920.)

### **Amount and Duration of the Increased Assessments**

The proposed assessment to cover the District's costs for the Project is planned to be collected over a not-to-exceed term of ten-years. The first annual installment of the new assessment would commence in Fiscal Year 2024-2025 in the amount of \$352,530.75, and be initiated by submitting a new assessment roll to the County prior to August 2024. The assessment would first appear on property tax bills due in December 2024. The increased tax revenues would be available to the District in March of 2025.

The complete Engineer's Report in support of the proposed Project, prepared by Project Engineer Dan Peluso of Haley & Aldrich, Inc., has been filed with the District, is available for public review on the District's website, was discussed at noticed District Board meetings on March 6, April 6 and May 18 of 2024, and was accepted and approved by the Board on June 1, 2024. The new assessments for each property, (as detailed below) are set forth in the Table attached hereto as Exhibit A. Assessments would be subject to collection on an annual basis. As noted above, the assessment will continue until the costs of the Project are collected (capped at \$3,524,920) but will not exceed a ten-year term.

### **How the Assessments are Calculated**

As referenced above, the District has obtained an Engineer's Report from Dan Peluso, a civil engineer certified by the State of California and employed by Haley and Aldrich, Inc., that allocates the Project costs to all properties in the District in proportion to the benefit received. Similar information concerning the proposed assessment contained in the "President's Report" was adopted by the Board on June 1, 2024. A copy of the Engineer's Report and/or the President's Report may be obtained on the District website: [pdghad.org](http://pdghad.org) or from the District's Clerk, Sarah Mansergh, at 831-818-9253 or [pdghad@gmail.com](mailto:pdghad@gmail.com). The formulas for allocating costs in Zone 1 were adopted by the Board for the initial assessment election in 1999 and are described below. These formulas were vetted and approved for use by engineers at Arup North

America Ltd. during the last District assessment in 2018.

For Zone 1, all costs for the seawall are allocated between the house owners, the Cypress Townhouse owners, the Pelican Condominium owners, and the Pajaro Dunes Association in proportion to the length of the seawall in front of those respective properties. All members of the Cypress Townhomes and the Pelican Condominiums share equally the costs of the seawall in front of their respective project areas. For the house owners, the basis for the allocation is property proximity to the ocean hazard (85% to front-row houses, 10% to second-row houses and 5% to back-row houses) and, for front-row lots, the width of the oceanfront parcels.

### **Summary of Majority Protest/Assessment Balloting Procedures**

Under the terms of Article XIII D of the California Constitution, every owner of a parcel of real property proposed to be assessed is entitled to cast an assessment ballot either in favor of or protesting the assessment. Enclosed with this notice is a Zone 1 assessment ballot, that contains information obtained from the Santa Cruz County Assessor's Office regarding the parcel of property you own.

As noted above, the District is seeking your approval of a new assessment to cover the total cost of the Zone 1 Pajaro Dunes Seawall Maintenance and Repair Plan Project, which has been estimated by the District Engineer of Record as \$3,524,920. Assessed funds, to be collected over a not-to-exceed 10-year term, will be used to pay for mobilization and construction costs, environmental mitigations and monitoring, interest on the anticipated loan for the Project, and other matters associated with the Project as set forth in the Haley and Aldrich Project Engineering Report (Table 1). If checked "yes," the enclosed Zone 1 ballot will authorize the Board to levy new annual assessments for not more than ten years in an amount not to exceed either the Estimated Total Project Cost or the Maximum Annual Assessment for each parcel of property as shown in Exhibit A. If Project costs are less than the Engineer's estimates, the Board will have the ability to reduce annual assessments and/or reduce the term in which assessments are levied.

Completed assessment ballots should be mailed or delivered to Sarah Mansergh, District Clerk, at 2661 Beach Road, Watsonville, California 95076 or dropped off in the ballot box at the gatehouse. Ballots may also be delivered at the meeting on July 27, 2024, in the Meadow Room but must be received prior to the close of the noticed public hearing. At a public hearing of protests scheduled for 9:00 a.m. on July 27, 2024, the assessment ballots will be tabulated, with ballots being weighted in proportion to the amount of the proposed assessment relative to the total of all assessments, and the results will be announced; provided that, if the Board needs more time to count assessment ballots, it may delay the announcement to a later meeting at a specified date. If the weighted assessment ballots in opposition to the proposed assessment exceed weighted assessment ballots in support, there will be a "majority protest," and the Board may not impose the proposed assessment.

## **Public Meetings**

The District Board held noticed public hearings on the Project on April 6, May 18, and June 1 of 2024. The District will also hold the final noticed public hearing on the Project and the proposed assessment at a GHAD Board meeting on July 27, 2024 at 9:00 a.m. in the Meadow Room at Pajaro Dunes, 2661 Beach Road, Watsonville, California. The Board will hear public comment, assessment protests and accept assessment ballots at that hearing. All interested persons are encouraged to attend the hearing and to speak or submit written comments about the proposed assessments.

## **Questions or Further Information**

If you have any questions about the assessment election, please visit our website [pdghad.org](http://pdghad.org) (for the Engineer's report, project plans and other documents relating to the project) or contact John Cullen, the District Board President, at Pajaro Dunes, 2661 Beach Road, Watsonville, CA, 95076, or contact the District Clerk, Sarah Mansergh, at 831-818-9253 or [pdghad@gmail.com](mailto:pdghad@gmail.com).

**BOARD OF DIRECTORS  
PAJARO GEOLOGIC HAZARD ABATEMENT DISTRICT**

**Resolution Regarding Approval of the Balloting Procedures for Voting on the Proposed Assessment for the Zone 1 Pajaro Dunes Seawall Maintenance and Repair Plan Project**

**RESOLUTION No. 2024-04**

**WHEREAS**, both Article XIII, Section 4 of the California Constitution (Proposition 218) and Division 17 of the Public Resources Code of the State of California contain certain requirements regarding the process of levying an assessment and conducting balloting to approve an assessment for a Geologic Hazard Abatement District (“GHAD”), and

**WHEREAS**, all the requirements for levying assessments and related ballot elections are summarized in the document “Procedures for Assessment Balloting and Majority Protest Hearing for the Zone 1 Pajaro Dunes Seawall Maintenance and Repair Plan Project Assessment” attached hereto as Exhibit “A”.

**NOW THEREFORE, BE IT RESOLVED** that the Board of Directors of the Pajaro Dunes GHAD hereby approves the process and balloting procedures contained in Exhibit A to this Resolution and instructs the District Clerk to file a copy of the document in the official records of the District.

**PASSED AND ADOPTED** by the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District of the County of Santa Cruz, State of California, this 1<sup>st</sup> day of June, 2024 by the following vote:

**AYES:** Directors \_\_\_\_\_

**NOES:** Directors \_\_\_\_\_

**ABSENT:** Directors \_\_\_\_\_

**ABSTAIN:** Directors \_\_\_\_\_

\_\_\_\_\_  
John Cullen, President, Board of Directors

**ATTEST:** \_\_\_\_\_  
Sarah Mansergh, Clerk of the Board

# **EXHIBIT A**

## **PROCEDURES FOR ASSESSMENT BALLOTING AND MAJORITY PROTEST HEARING FOR ZONE 1 Pajaro Dunes Seawall Maintenance and Repair Plan Project Assessment**

### **Pajaro Dunes Geologic Hazard Abatement District**

#### **Background**

The Pajaro Dunes Geologic Hazard Abatement District (“GHAD”) was established in October 1998 pursuant to the provisions of the Geologic Hazard Abatement District Law in Division 17 of the California Public Resources Code. On June 5, 1999, the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District approved a benefit assessment (for Fiscal Year 2000) to establish and maintain a stable source of funding to pay for the cost and expenses of the maintenance and operation of improvements within the District as described in The Plan of Control approved by the Legislative Body pursuant to Division 17 of the California Public Resources Code. These improvements consist of a rock revetment seawall (Zone 1), designed to reduce damage from a 30-year coastal storm, and a steel sheet piling river wall (Zone 2) designed to reduce damage from a 30-year storm event. While the construction costs for the seawall were paid by the front-row lot owners, the Pelican Point homeowners, and the Cypress Townhouse owners, and the cost of the river wall was paid by the Pelican homeowners, the Pajaro Dunes Geologic Hazard Abatement District has assumed maintenance responsibility for both walls to the extent that District members approve adequate assessments to do so.

#### **Zone 1 Assessment Election for Fiscal Year 2018-2019 and COLA**

The Pajaro Dunes GHAD Board is seeking approval of a new assessment for Zone 1 to fund the cost of the Pajaro Dunes Seawall Maintenance and Repair Plan Project. The Project involves the long-needed repair and restoration of portions of the seawall for which all properties in Zone 1 of the District are responsible. The seawall has been repeatedly damaged by coastal erosion occurring during severe winter storms since its construction in 1986-88. After years of effort, the District has been able to obtain Santa Cruz County’s approval of a Seawall Maintenance and Repair Plan, that allows the District to pull a grading permit for repair and restoration activities. The Project proposes to repair portions of the seawall to essentially restore and preserve the original seawall configuration. Rock previously placed for emergency seawall repair on California State Parks property in 2003, as well as rock that has been displaced over time within and adjacent to the seawall itself, will be used for the Project. The Project is planned to impact a 1,900- foot-long segment of the seawall. Assessed funds, to be collected over a not-to-exceed 10-year term, will be used to pay for mobilization and construction costs, environmental mitigations and monitoring, interest on the anticipated loan for the project, and other matters associated with the project as set forth in the Haley and Aldrich Project Engineering Report (Table 1). If the assessment is approved, the first proposed annual assessment for Zone 1 will be levied in Fiscal Year 2024-2025 in accordance with Cost Allocation Table 2 set forth in the Engineering Report. Project costs are to be allocated between major groups, Housing, Pelican

Point Condominiums, Cypress Grove Townhouses, and the Pajaro Dunes Homeowners Association, and then within groupings by proximity and relationship to the District's improvements (front-row, second-row and back-row homes), all in accordance with standard cost allocation formulas previously adopted by the Pajaro Dunes GHAD Board and established when the District was created by the County Board of Supervisors on October 27, 1998. These formulas were vetted and approved for use by engineers at Arup North America, Ltd. during the last District assessment in 2018.

To obtain the necessary authority for imposition of the new assessment, all Zone 1 members (every member of the District) will receive one ballot per parcel to vote on the assessments to be levied over a term not to exceed ten years, commencing in Fiscal Year 2024-2025. Ballots will be weighed in proportion to the amount of proportionate benefit, as previously calculated by the District's Engineer, as follows:

Three major groups, Houses, Pelican Condominiums, and Cypress Townhouses, share the costs based on the length of the seawall in front of their respective areas (Cypress 11.84%, Houses 75.45%, Pelican 10.18% and the Pajaro Dunes Homeowners Association 2.53% for the stairways). Since the Pelican and Cypress groups are condominium associations, they each share their portions of the costs equally among their members. In Zone 1, of the portion of costs allocated to the houses, the front-row houses pay 85%, the second-row houses pay 10%, and the back-row houses pay 5%.

## **Procedures**

The GHAD law requires a mailed notice of adoption of the resolution initiating assessment proceedings and a scheduled protest hearing. Proposition 218, passed by the voters on November 5, 1996, added Article XIID to the California Constitution. Article XIID, Section 4, requires the District to conduct a majority protest/mailed assessment balloting hearing before imposing an assessment.

The following procedures have been adopted by the District Board of Directors to conduct this assessment balloting and majority protest hearing. Where no specific procedures are imposed by Article XIID or Division 17 of California Public Resources Code, these procedures comply with the requirements of other relevant statutory requirements or basic principles of due process to ensure the integrity of the process.

1. The notice and ballot required by Section 26652 of Public Resources Code and by Article XIID, Sections 4 (c) and (d), along with a prepaid, self-addressed return envelope, shall be mailed to all property owners of record in Zone 1 of the District at least 45 days prior to the date of the public hearing on the proposed assessment. The District Clerk will prepare the list of property owners of record by using the most current listing available from the County Assessor's Office.

2. Prior to the noticed public hearing, assessment ballots must be returned by mail, hand delivered to the Pajaro Dunes gatehouse ballot box or delivered to the Meadow Room, 2661 W. Beach Road, Watsonville, California 95076, Attn: District Clerk and must arrive by the end of

the public hearing starting at 9 a.m. on July 27, 2024. The ballots may be returned by persons other than the property owner.

3. Ballots must be signed by the property owner of record or authorized representative, under penalty of perjury. Under Article XIID of the California Constitution, the term “property owner” includes a tenant who is directly liable for payment of the proposed assessment. For properties with more than one owner of record, ballots will be accepted as valid if signed by at least one of the listed owners. The ballots for each property must be returned with either an “in support of” or an “in opposition to” vote. Only ballots with original signatures, not photocopies, will be accepted. Multiple ballots returned for a single parcel of property will be disallowed unless the President is able to determine with certainty which ballot accurately reflects the intended vote of the property owner.

4. The District may issue duplicate or replacement ballots to property owners (for instance where the original is lost or not delivered to the current owner). Such ballots shall be clearly marked as duplicate or replacement ballots and shall be accompanied by sufficient information for the President to verify the location and ownership of the property in question and the identity of the individual casting the ballot to verify its authenticity.

5. Assessment Ballots may be returned until the close of the public hearing to be held at a Pajaro Dunes GHAD Board meeting in the Meadow Room, Pajaro Dunes, 2661 W. Beach Road, Watsonville, California, on July 27, 2024, at 9:00 a.m. [Any person having previously returned an assessment ballot may withdraw their ballot or change their vote prior to the close of the public hearing upon providing sufficient proof that they are the property owner of record or authorized agent who cast the ballot].

6. At the public hearing on July 27, 2024, the District Board will hear any public testimony regarding the proposed assessment and accept ballots until the close of the public hearing. At the close of the public hearing, the assessment ballots (including those received at the hearing) will be tabulated, with ballots being weighted in accordance with the proportional benefit for each property, and the results will be announced; provided that, if the Board needs more time to accurately count assessment ballots, it may delay the announcement to a later meeting at a specified date. At the conclusion of the tabulation process, the President shall finalize the tabulation of the ballots, the Board Clerk shall certify the accuracy of the final count and the ballots shall become public records and will be available for inspection by any member of the public.

7. The Board President shall determine the validity of all ballots submitted and shall exclude any invalid ballots from the final tabulation. The President shall accept as valid all ballots except those in the following categories:

- the ballot returned is a photocopy and not an original of the authorized signature;
- the ballot has not been signed under penalty of perjury by the owner of record or authorized agent;
- the ballot does not have an identifiable yes or no vote;
- multiple ballots returned for a single parcel of property if it is not possible to determine

- with certainty which ballot accurately reflects the intended vote of the property owner; or
- other circumstances exist which reasonably demonstrate that the ballot has been tampered with or is otherwise invalid.

The President's decisions regarding this matter shall be final and binding. The Clerk of the District will retain all invalid ballots.

8. Article XIII D of the California Constitution requires that "In tabulating the ballots, the ballots shall be weighted according to the proportional financial obligation of the affected property." If the final tabulation of weighted ballots shows that a majority protest exists, the District Board will not impose the assessment (Article XIID, Section 4 (e)). If no majority protest exists, the District Board may adopt a resolution confirming the assessment. (Public Resources Code Section 26653). The District Clerk and/or District Accountant will furnish the Santa Cruz County Auditor-Controller with a list of parcel numbers and assessments for each parcel required to pay an assessment, so the assessments can be collected as part of the Santa Cruz County property tax bill. The District Clerk shall record a notice of assessment as provided for in Section 3114 of the Streets and Highways Code, and the assessment shall attach as a lien upon the property, as provided in Section 3115 of the Streets and Highways Code. (Public Resources Code Section 26654).

**BOARD OF DIRECTORS  
PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT**

**Resolution to Approve Ballots for the Zone 1 2024 Pajaro Dunes Seawall Maintenance and  
Repair Plan Project Assessment Election**

**RESOLUTION No. 2024-05**

**WHEREAS**, the Board of the Pajaro Dunes Geologic Hazard Assessment District (“Pajaro Dunes GHAD”) is proposing to conduct proceedings for the levy and assessment of a new assessment for a 10-year term for Zone 1 for costs associated with the Pajaro Dunes Maintenance and Repair Plan Project; and

**WHEREAS**, Article XIII, Section 4 of the California Constitution (Proposition 218) requires that proposed assessments for the Pajaro Dunes GHAD be put to a vote of property owners in the District.

**NOW, THEREFORE BE IT RESOLVED**, that the Board of Directors of the Pajaro Dunes GHAD hereby approves the assessment ballot for Zone 1, attached hereto as Exhibit “A,” and instructs the District Clerk to file a copy of the ballot in the official records of the District.

**PASSED AND ADOPTED** by the Board of Directors of the Pajaro Dunes Geologic Hazard Abatement District of the County of Santa Cruz, State of California, this 1st<sup>h</sup> day of June, 2024 by the following vote:

**AYES:** Directors \_\_\_\_\_

**NOES:** Directors \_\_\_\_\_

**ABSENT:** Directors \_\_\_\_\_

**ABSTAIN:** Directors \_\_\_\_\_

\_\_\_\_\_  
John Cullen President, Board of Directors

ATTEST: \_\_\_\_\_  
Sarah Mansergh, Clerk of the Board

## Exhibit A

### **IMPORTANT - OFFICIAL ASSESSMENT BALLOT FOR ZONE 1**

#### **PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT**

The Pajaro Dunes Geologic Hazard Abatement District (“Pajaro Dunes GHAD”) is seeking approval of a new assessment for Zone 1 to cover the costs of the Pajaro Dunes Seawall Maintenance and Repair Plan Project. The Project involves the long-needed repair and restoration of portions of the seawall for which all properties in Zone 1 of the District are responsible. The seawall has been repeatedly damaged by coastal erosion occurring during severe winter storms since its construction in 1986-88. Assessed funds will be used to cover the costs of construction, environmental mitigation and monitoring, engineering reports, and required permits. Assessments are proposed to be collected for a term not to exceed ten years, commencing in Fiscal Year 2024-2025. The Total Maximum Assessment that can be collected for the Project over a ten-year term in Zone 1, as calculated by the District’s Engineer of Record, Dan Peluso of Haley & Aldrich, will be \$3,524,920. The Fiscal Year 2024-2025 assessment established for Zone 1, to be divided between all Zone 1 properties, is \$352,530.75.

Assessments will be allocated between major groups based on the length of the seawall in front of their respective areas, Housing (75.45%), Pelican Point Condominiums (10.18%), Cypress Grove Townhouses (11.84%) and Association-Stairways (2.53%). In accordance with standard cost allocation formulas, previously adopted by the GHAD Board and established when the District was created by the Santa Cruz Board of Supervisors on October 27, 1998, the Pelican and Cypress Groups share their portion of the cost equally among their members, while the portion allocated to houses pays its portion as follows: front-row houses- 85%, second-row houses-10%, and back-row houses-5%.

This ballot is for the use of the owner or authorized representative of the parcel identified below, which parcel is located within Zone 1 of the Pajaro Dunes Geologic Hazard Abatement District. Property ownership includes tenancies of real property where tenants are directly liable to pay future assessment. Please advise the District Clerk, Sarah Mansergh, at 2661 W. Beach Road, Watsonville, California, 95076, at 831-818-9253 or email at [pdghad@gmail.com](mailto:pdghad@gmail.com) if the name below is incorrect or if you are no longer the owner of this parcel.

This ballot may be used to express either support for or opposition to a new assessment to fund the proposed Pajaro Dunes Seawall Maintenance and Repair Project. To be counted, this ballot must be signed below by an owner or, if the owner is not an individual, by the authorized representative of the owner. The ballot must then be delivered to the District office at 2661 W. Beach Road, Watsonville, California, 95076, either by mail or in person, as follows:

Mail Delivery: If by mail, place the ballot in the prepaid, self-addressed return envelope and place in it the mail not later than July 22, 2024. Mailing later than this deadline creates the risk that the ballot will not be received in time to be counted.

Personal Delivery: If in person, to the Pajaro Dunes Gatehouse ballot box, to Pajaro Dunes GHAD 2661 Beach Road, Watsonville, California, 95076 or at the public hearing on July 27, 2024 at 9:00 a.m in the Meadow Room.

**However delivered, the ballot must be received by the District Board President prior to the close of the public hearing on July 27, 2024 to be counted.**

**OFFICIAL ASSESSMENT BALLOT**

I declare, under penalty of perjury, that I am the legal owner or authorized representative and am entitled to execute this ballot for the parcel shown below, and I hereby cast my vote

**IN SUPPORT OF**

**OR**

**IN OPPOSITION TO**

a new annual assessment, for a period not to exceed 10 years, for the proportionate share of the Pajaro Dunes Rock Revetment Project. The Estimated Total Maximum Cost of the Project is \$3,524,290, with the Maximum Annual Assessment set at an amount not to exceed \$352,540.75 per year. The Annual Assessment per property is set forth in Exhibit A of the Notice accompanying this ballot.

Date \_\_\_\_\_

\_\_\_\_\_  
Name (Please Print)

Unit No. \_ Unit # \_

\_\_\_\_\_  
Signature of Property Owner or Authorized Representative

**PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT - ZONE 1  
BUDGET FOR FOR THE FISCAL YEAR ENDED JUNE 30, 2025**

<b>FUNDING SOURCES FOR ZONE 1</b>	<b>Assessment</b>	
	<b>FY25</b>	<b>Reduced</b>
	<b>Spending</b>	<b>By Cash</b>
	<b><u>Budget</u></b>	<b><u>In Reserves</u></b>
		<b>FY25</b>
		<b><u>Assessment</u></b>
Property Assessments:		\$ 227,618
From Members		220,771
From PDA for Stairways		6,847
Interest income		15,000
<b>Total Revenue for Zone 1</b>		<b>242,618</b>
<b>Administrative and Operating Expenses</b>		
<b>General and Administrative Expenses</b>		
Printing and mailings	\$ 1,772	\$ -
Communications and Website maintenance	1,772	-
Office Supplies	649	-
Advertising	591	-
Insurance	17,723	-
Membership Dues	591	-
<b>Total General and Administrative Expenses</b>	<b>23,099</b>	<b>-</b>
<b>Professional Services</b>		
Legal Consultant	21,268	-
Contract costs for Assessment calculations	3,758	-
Audit Fees	11,815	-
Accountant Contract	21,268	-
Engineer Fees/County permit	139,011	-
Clerk Contract/Admin. & Outreach	9,925	-
<b>Total Professional Services</b>	<b>207,044</b>	<b>-</b>
<b>Special District Compliance Costs</b>		
Elections	2,925	-
Board and Clerk Training	2,600	-
<b>Total Special District Compliance Costs</b>	<b>5,525</b>	<b>-</b>
<b>Seawall Inspection</b>	<b>6,950</b>	<b>-</b>
<b>Total Administrative and Operating Expenses</b>	<b>\$ 242,618</b>	<b>\$ -</b>

**DRAFT PAJARO DUNES GEOLOGIC HAZARD ABATEMENT DISTRICT - ZONE 2  
BUDGET FOR FOR THE FISCAL YEAR ENDED JUNE 30, 2025**

	<b><u>DRAFT Budget</u></b>
<b>REVENUE FOR ZONE 2</b>	
Property Assessments	239,471
Pelican	238,202
Total PDA for stairway	1,269
Interest	150
<b><i>Total Revenue for Zone 2</i></b>	<b><u>239,621</u></b>
<b>EXPENDITURES FOR ZONE 2</b>	
<b><i>Administrative Costs</i></b>	
Contract for Assessment Administration	1,228
Accountant/Clerk Contract	3,069
Bond Fee	750
Bank Service Charges	564
Total Administrative Costs	<u>5,610</u>
<b><i>Riverwall Inspection</i></b>	<b><u>-</u></b>
<b><i>Loan Payments</i></b>	
SBA Loan Payment	92,856
Payment on bond issue (82 members)	141,155
Total loan payments	<u>234,011</u>
<b><i>Total Expenditures for Zone 2</i></b>	<b><u>239,621</u></b>
<b>Net Change in Fund Balance</b>	<b><u><u>-</u></u></b>